

Addendum #2 for
St. Joseph University Catholic Parish
Terre Haute, IN
Parish Hall
September 17, 2026

PREPARED BY

entheos ARCHITECTS
802 Lord Street, Ste. 200
Indianapolis, IN 46202
Ph (317) 951-9590

In Consultation with

STRUCTURAL ENGINEER
Lynch, Harrison & Brumleve, Inc.
550 Virginia Avenue
Indianapolis, IN 46203
Ph (317) 423-1550

MEP ENGINEER
ATP Engineering, LLC
9641 Commerce Drive
Carmel, IN 46032
Ph (317) 441-7021

CIVIL ENGINEER
LandWorx Engineering, LLC
6311 East Westfield Boulevard, Ste. 100
Indianapolis, IN 46220
Ph (317) 616-0177

AUDIO / VISUAL CONSULTANT
WCA, LLC
8010 Englewood Road
Indianapolis, IN 46240
Ph (317) 457-5787

FOOD SERVICES CONSULTANT
Vorndran & Associates, Inc.
7670 Shasta Drive
Indianapolis, IN 46217
Ph (317) 677-3475



A handwritten signature in black ink, appearing to read "K. Stuckwisch".



A handwritten signature in black ink, appearing to read "Wesley B. Harrison".



A handwritten signature in black ink, appearing to read "David Shuck".



A handwritten signature in black ink, appearing to read "Evan West".

Acknowledge receipt of this Addendum by inserting its number on the Bid Form. Failure to do so may subject the Bidder to disqualification. This Addendum is a part of the Contract Documents.

CHANGES TO THE PROJECT MANUAL

Modifications described herein shall be incorporated into the Project Manual. All other Work shall remain unchanged.

00 4100 - Bid Form

1. Replace the Bid Form with attached Form adding Unit Prices and correcting the bid date.

01 2200 - Unit Prices

1. Add attached Section 01 2200 - Unit Prices.

27 4100 - Professional Audio-Video System

1. Provide the AV screen in 16:10 video format (instead of 9 x 12 format originally stated). Screen is a light rejecting wide, (130 degrees), view cone with gain of 0.8. View dimensions with black border is 8 feet high and 12.8 feet wide, using a dowel bottom for flat, wrinkle free surface. Reference Basis of Design is Draper Access E series with XH800 Optiview series (grey) surface for ambient light control. Screen shall be recessed inside of soffit, pl, num rated and case length coordinated by AV integrator with submittals for low voltage remote control to AV rack/room. Case shall be able to ship early and screen may follow with projector lens setup by AV integrator. Product shall include optional LVC-IV remote control for AV touch panel control.

CHANGES TO THE DRAWINGS

Modifications described herein shall be incorporated into the Drawings. All other Work shall remain unchanged.

Sheet C110 - Demolition Plan

1. Callout 'H' added to trees along Walnut and South 5th Street for removal. Replace sheet in its entirety.

Sheet C200 - Overall Site Plan

1. Proposed sidewalk along Walnut and South 5th Street has been removed except for pads at building access points. Replace sheet in its entirety.

Sheet C210 - Site Plan

1. Proposed sidewalk along Walnut and South 5th Street has been removed except for pads at building access points.
2. Note 13 added for information on right of way sidewalk / ramp construction by others.
3. Replace sheet in its entirety.

Sheet C300 - Grading Plan

1. Proposed grades removed for previously proposed right of way sidewalk and ramp. Replace sheet in its entirety.

Sheet C301 - Detailed Grading Plan

1. Step count and elevations updated between new and proposed buildings.
2. 'ADA Ramp Detail 02' removed from lower left.
3. Replace sheet in its entirety.

Sheet C401 - Construction Erosion Control Plan

1. Proposed sidewalk along Walnut and South 5th Street has been removed except for pads at building access points. Replace sheet in its entirety.

Sheet C500 - Utility Plan

1. Proposed sidewalk along Walnut and South 5th Street has been removed except for pads at building access points.
2. Approximate invert added for existing sanitary main for connection on west.
3. Replace sheet in its entirety.

Sheet C700 - Construction Details

1. 'Water Service Bedding' detail added. Replace sheet in its entirety.

Sheet C703 - Construction Details

1. INDOT curb ramp details removed.
2. City of Terre Haute sanitary and storm sewer trench and backfill details added.
3. Replace sheet in its entirety.

Sheet S201 - Foundation Plan

1. Add / Revise the following notes:
 - a. The soil under the footings does not need to be undercut unless specific areas are noted during construction by the testing agency. The cost on the removal and replacement of this material should be covered in Unit Costs.

Sheet M201 - Mechanical Plan

1. Kitchen Rm 107: Provide 30" wide Stainless Steel range hood equal to Broan-NuTone BW50 model. Exhaust duct is shown on sheet M201. Balance hood exhaust damper to 380 cfm.

Sheet E202 - Electrical Power & Systems Plan

1. Kitchen Rm 107: Add a connection to range hood via circuit 'K-8'.

2. Mech Rm 111: Add one fire alarm manual pull station adjacent the Fire Alarm Control Panel.

Sheet E501 - Electrical Riser Diagram & Details

1. Revise utility secondary size to F400.

Sheet E601 - Electrical Schedules

1. INTERIOR LIGHT FIXTURE SCHEDULE
 - a. TYPE L4: Add 'ALW Moonring' series as acceptable manufacturer.
 - b. TYPE L6: Add 'Brownlee 5160' as acceptable manufacturer.
 - c. TYPE L8: "Add 'ALW Moonring' series as acceptable manufacturer.
 - d. TYPE LS1, LS1E, LS4E: Add 'Current VPW1' as acceptable manufacturer.
 - e. TYPE LS2E: Add "Performance Lighting Quasar" and "Ligman" as acceptable manufacturers.
 - f. TYPE LS3: Add "Architura 1400" as acceptable manufacturer.

Bidder Questions

1. Civil / Site Questions:
 - a. On C700 - Downspout detail shows using Sch 40 pipe at fittings. Should we assume all 8" roof drain piping to be Sch. 40 ? **Yes, 8" roof drain piping can be Sch. 40.**
 - b. Is there an existing underground brick tunnel in the alley just west of the proposed building? **We do not believe there is a tunnel in the alley.**
 - c. For the right of way asphalt and the right of way concrete, it wants you to refer to page C702 / Note 12 but I do not see a note 12. Could you please provide the correct detail for the right of way asphalt and right of way concrete for this project. **Note 12 is on C200 and states, "Contractor shall confirm with Terre Haute Department of Public Works which pavement section is required." We have provided Terre Haute Standard details for both pavement replacement / patching and new pavement sections on sheet C702. Until verified, I would assume heavy pavement classification for all right of way work.**
 - d. On the demo page, note 13 states to take all demo debris to an IDEM certified landfill, however, most of this demo is legal to dump at our INDOT approved disposal area at our Terre Haute gravel pit. Can you ask if this landfill requirement is necessary? **Most likely if it's INDOT approved it would be IDEM approved also.**
 - e. On the demo page, note 16 talks about cleaning out of a yard drain. I will go look, but does the drain plug up include any underground plugs in existing drainage lines? **This note is to ensure that when the yard drain is removed, it does not create issues with any potential upstream connections. The survey states it's full of debris and provides no indication of connections or routing.**
 - f. Note 11 on the civil demo sheet talks about basements and foundations (I assume existing from years ago on the site, but I'm not sure.) Can you clarify the extent of existing basement and foundations removal? **There was an old school building on this lot. You may run into something while excavating, and this provides direction for proper removal if encountered.**

- g. Note 15 on the civil demo sheet talks about the utility pole near the alley and to protect the integrity of that pole. Can you clarify the extent of this work? **If during the excavation there is any chance of undermining the pole's foundation, it needs to be braced to ensure that the pole doesn't fall, shift, or tilt. We would recommend coordination with Duke on this for OSHA requirements for work near power lines as well as bracing requirements..**
 - h. Are there any small storm inlet boxes? **No, the only inlets will be the trench drain and manhole.**
 - i. Regarding the detail for downspouts: Is there a cast iron downspout boot required or can we use PVC? **PVC is acceptable.**
2. See attached MEP Question sheet for additional clarifications.

END OF ADDENDUM #2

St. Joseph University Parish Addendum MEP Questions:

Plumbing Addendum Questions:

Question #1) Looking at the plumbing drawing, there are no floor drains shown on the drawings. Do you think they are needed?

Answer: There are floor drains shown in the restrooms and the mechanical room

Question #2) Is Sch. 40 PVC pipe and fittings acceptable for Sanitary Drain, Vent and Storm Draining Piping? If so, does the kitchen area need to be cast iron?

3.01 PIPING APPLICATIONS

- A. Aboveground, sanitary soil, waste and vent piping NPS 2 and smaller shall be any of the following:
 - a. Cast iron hubless with no-hub couplings.
 - b. Copper.
- B. Aboveground, soil, waste and vent piping NPS 2-1/2 and larger shall be the following:
 - a. Cast iron hubless with no-hub couplings.
- C. Aboveground, storm piping NPS 3 and larger shall be the following:
 - a. Cast iron hubless with no-hub couplings.
- D. Underground sanitary soil, waste and vent piping:
 - 1. Extra Heavy Cast Iron with Hub and Spigot fittings.
- E. Underground storm drain piping:
 - 1. Extra Heavy Cast Iron with Hub and Spigot fittings.
- F. Sump and Sewage Pump Discharge Piping:
 - 1. Galvanized steel.

Answer: PVC is acceptable for sanitary everywhere except under the kitchen, the dishwasher boosts the hot water to 180 degrees, this should not be routed directly to PVC. Utilize cast iron for the piping branch serving the kitchen area from the dishwasher and three compartment sink until it combines at the main to allow for the temperature to be diluted.

Question #3) Is Copper Press Fittings acceptable for Domestic Water Piping?

PART 2 PRODUCTS

2.01 PIPING MATERIALS

- A. Comply with requirements in "Piping Schedule" Article for applications of pipe, tube, fitting materials, and joining methods for specific services, service locations, and pipe sizes.

2.02 COPPER TUBE AND FITTINGS

- A. Hard Copper Tube: ASTM B 88, Type K or L water tube, drawn temper.
 - 1. Cast-Copper Solder-Joint Fittings: ASME B16.18, pressure fittings.
 - 2. Wrought-Copper Solder-Joint Fittings: ASME B16.22, wrought-copper pressure fittings.
 - 3. Bronze Flanges: ASME B16.24, Class 150, with solder-joint ends.
 - 4. Copper Unions: MSS SP-123, cast-copper-alloy, hexagonal-stock body, with ball-and-socket, metal-to-metal seating surfaces, and solder-joint or threaded ends.

Answer: Pro-press is acceptable for domestic water piping

Mechanical Addendum Questions:

Question #1) What is controlling the 2 exhaust fans in the building? I see one is for the bathrooms and one is for the kitchen.

Answer: Remark #2 on the Fan Schedule states that each exhaust fan EF-1 and EF-2 are to be interlocked with RTU-1 for operation.

Question #2) The only other question I've received is about the kitchen hood / exhaust. I don't see a hood in your dwgs. I don't see any exhaust from the kitchen on your dwgs.

Answer: Provide 30" wide Stainless Steel range hood equal to Broan-NuTone BW50 model. Exhaust duct is shown on sheet M201. Balance hood exhaust damper to 380 cfm.

Question #3) Is there a preferred Controls Contractor?

Answer: The VVT system is assumed to be installed by the mechanical contractor. The systems listed on the drawings are Zonex, York/Johnson and Carrier. The manufacturer of the packaged units typically can offer their VVT system as part of the package, so we don't normally see the system procured by a separate TC contractor. If the bidders elect to procure with a TC contractor, that is fine, but we don't really have a preference on who it is as long as they comply with Sheet M701 requirements.

Question #4) Please provide clarification on the following RTU specifications:

1. Section 237413-3, 2.02, C, 6 – Requires dual direct drive supply fans. The JCI RTU comes with a single belt drive supply fan. Is that acceptable? **Single belt drive fan is acceptable.**
2. Section 237413-4, 2.02, D, 9 – Requires a Manual Bypass for the VFD. This is an option, but will add cost. Do you want a VFD manual bypass included? **No vfd bypass is needed.**
3. Section 237413-4, 2.02, E, 12 – Requires Lights. Lights are not an available option on this RTU. **This is acceptable.**
4. Section 237413-4, 2.02, E, 13 – Requires Power Factor Correction Capacitors. This is not an available option on this RTU. **This is acceptable.**
5. Section 237413-6, 2.02, H, c – Requires an outdoor airflow measuring station. **No airflow measuring station is required.**
6. Section 237413-8, 2.02, K, 19, a, 2 – Requires hot gas bypass on the lead circuit. This is not available. The JCI RTU has 4 compressors for capacity control. **The JCI capacity control is acceptable.**
7. Section 237413-8, 2.02, L, 1, a – Requires 2" spring vibration curb rails. **2" Spring vibration Isolation curb is not required, only the 18" roof curb.**

Electrical Addendum Questions:

Question #1) The drawings show a 600A riser but only 400A main panel. Please clarify?

Answer: 400A service is required. Originally 600A was shown in case branch circuit breaker sizes would require a larger frame.

Question #2) There are not any fire alarm pull stations shown on the drawings.

Answer: Pull stations at every door are not required since the building is fully sprinklered.

Project: **ST. JOSEPH UNIVERSITY CATHOLIC PARISH**
NEW PARISH HALL

To: **Kevin Stuckwisch, AIA**
Entheos Architects
802 Lord Street, Indianapolis IN 46202

From (Bidder): _____

Address: _____

Telephone: (_____) _____

Date: _____

Contact Person: _____

BIDS DUE: 2:00 p.m., Tuesday, September 22, 2026.

The undersigned, having visited the Project site and having become familiar with conditions thereof and having examined and become fully cognizant of the Drawings and Project Manual and all Addenda issued thereto, hereby agrees to furnish all labor, materials, equipment, fixtures and incidentals required for construction of the Project in conformance with the intent of the Contract Documents.

Pursuant to these requirements, the undersigned submits the following Base and Alternate Bids, which include all applicable taxes, overhead and profit for General Contract Work.

Base Bid - Lump Sum: _____

_____ Dollars (\$) _____

Alternate No. 1 (Performance & Payment Bonds) - Lump Sum: _____

_____ Dollars (\$) _____

Alternate No. 2 (Add Commercial Kitchen Equipment) - Lump Sum: _____

_____ Dollars (\$) _____

Alternate No. 3 (Add A/V Equipment / Wiring) - Lump Sum: _____

_____ Dollars (\$) _____

Alternate No. 4 (Fiber Cement Siding on N & W Elevations) - Lump Sum: _____
_____ Dollars (\$ _____)

Alternate No. 5 (Increase Brick Recess) - Lump Sum: _____
_____ Dollars (\$ _____)

Time of Completion: _____ calendar days from date of "Notice to Proceed." (Based on all Work required in Base Bid.)

If awarded this Project, our Project Manager will be: _____

our Field Superintendent will be: _____

Unit Prices: If Work is added or deleted during the construction period by written instructions prepared by the Architect/Engineer, the undersigned agrees to accept the following unit prices for Work added or deleted. Unit prices shall include overhead and profit.

<u>Work</u>	<u>Unit</u>	<u>Price</u>
Earth Excavation (Hand)	Cu. Yd.	\$ _____
Earth Excavation (Machine)	Cu. Yd.	\$ _____
Concrete or Rock Excavation	Cu. Yd.	\$ _____
Compacted Fill	Cu. Yd.	\$ _____

Supplemental Documents:

Non-Collusion Affidavit (Section 00 4519 of this Manual)

Subcontractors and Products List (Section 00 4333 of this Manual)

Addenda: Receipt of Addenda issued to the Drawings and Project Manual is hereby acknowledged:

Addenda Nos. _____

Individuals / Sole Proprietors complete below:

IN TESTIMONY WHEREOF, the Bidder (an Individual) has hereunto set his hand this _____

day of _____, 20_____.

Individual Bidder: _____

Firms / Partnerships complete below:

IN TESTIMONY WHEREOF, the Bidder (a Firm) has hereunto set their hands this _____

day of _____, 20_____.

Name of Firm: _____

By: _____

By: _____

Subscribed and sworn to before me by _____

This _____ day of _____, 20_____.

My commission expires: _____

Corporations complete below:

IN TESTIMONY WHEREOF, the Bidder (a Corporation) has caused this proposal to be signed by its President and

Secretary, and affixed its corporate seal this _____ day of _____, 20_____.

Name of Corporation: _____

President: _____

Secretary: _____

(Seal)

END OF SECTION 00 4100

PART 1 - GENERAL

1.01 SUMMARY

- A. Section includes administrative and procedural requirements for unit prices.
- B. Related Requirements:
 - 1. Section 01 2600 "Contract Modification Procedures" for procedures for submitting and handling Change Orders.
 - 2. Section 01 4000 "Quality Requirements" for field testing by an independent testing agency.

1.02 DEFINITIONS

- A. Unit price is an amount incorporated into the Agreement, applicable during the duration of the Work as a price per unit of measurement for materials, equipment, or services, or a portion of the Work, added to or deducted from the Contract Sum by appropriate modification, if the scope of Work or estimated quantities of Work required by the Contract Documents are increased or decreased.

1.03 PROCEDURES

- A. Unit prices include all necessary material, plus cost for delivery, installation, insurance, applicable taxes, overhead, and profit.
- B. Measurement and Payment: See individual Specification Sections for work that requires establishment of unit prices. Methods of measurement and payment for unit prices are specified in those Sections.
- C. Owner reserves the right to reject Contractor's measurement of work-in-place that involves use of established unit prices and to have this work measured, at Owner's expense, by an independent surveyor acceptable to Contractor.
- D. List of Unit Prices: A schedule of unit prices is included in Part 3. Specification Sections referenced in the Part 3 "Schedule of Unit Prices" Article contain requirements for materials described under each unit price.

PART 2 - PRODUCTS (Not Used)

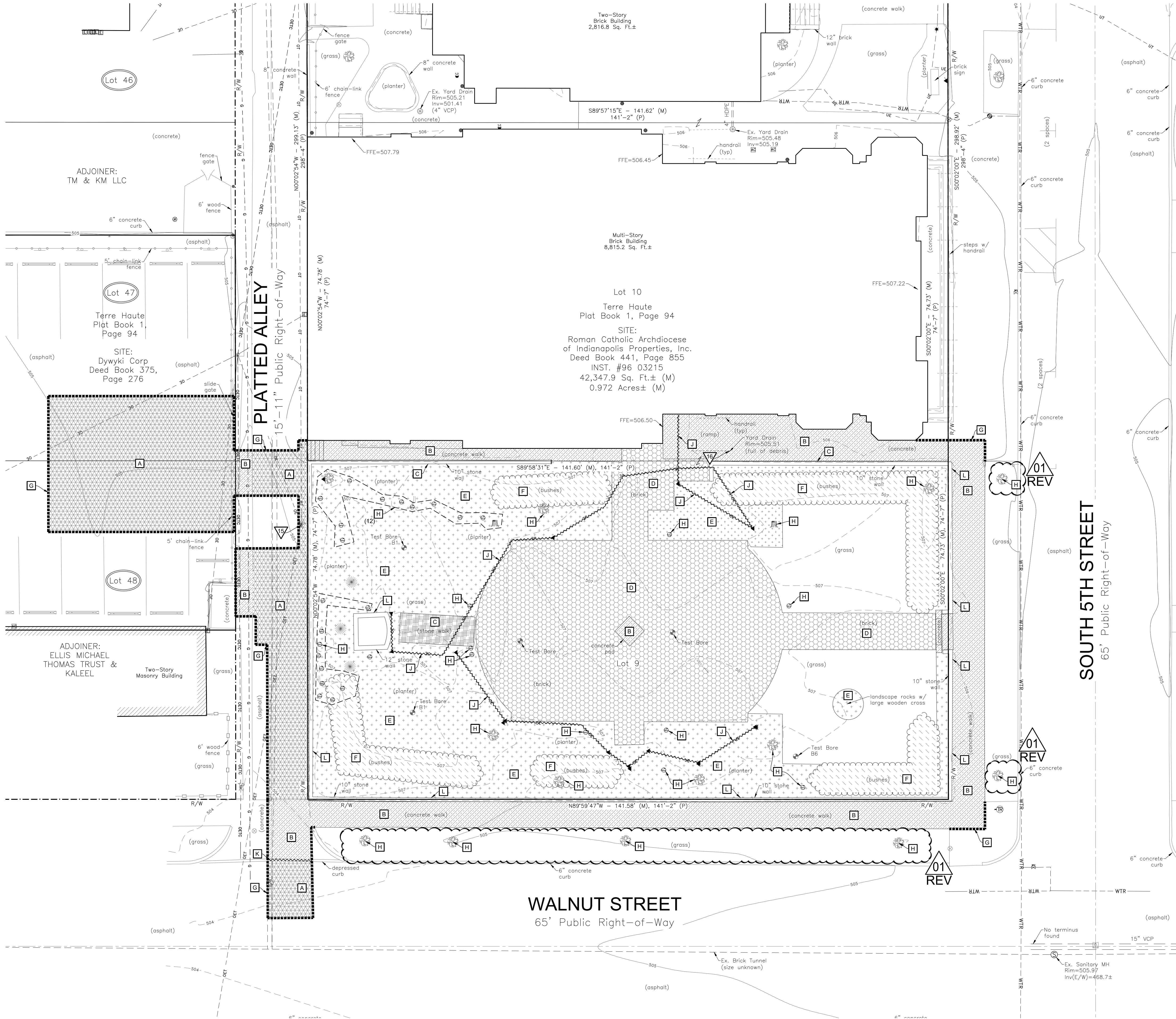
PART 3 - EXECUTION

3.01 SCHEDULE OF UNIT PRICES

- A. Unit Price No. 1: Removal of unsatisfactory soil by hand.
 - 1. Description: Unsatisfactory soil excavation by hand and disposal off-site, as required, in accordance with the Civil drawings.
 - 2. Unit of Measurement: Cubic yard of soil excavated, based on survey of volume removed.

- B. Unit Price No. 2: Removal of unsatisfactory soil by machine.
 - 1. Description: Unsatisfactory soil excavation by machine and disposal off-site, as required, in accordance with the Civil drawings.
 - 2. Unit of Measurement: Cubic yard of soil excavated, based on survey of volume removed.
- C. Unit Price No. 3: Concrete or rock excavation.
 - 1. Description: Classified concrete or rock excavation and disposal off-site, as required, in accordance with the Civil drawings.
 - 2. Unit of Measurement: Cubic yard of rock excavated, based on survey of volume removed.
- D. Unit Price No. 4: Infill or replacement of rock or unsatisfactory soil with satisfactory soil material.
 - 1. Description: Replacement with satisfactory compacted engineered fill from off-site, as required, in accordance with the Geotechnical Report.
 - 2. Unit of Measurement: Cubic yard of soil, based on survey of volume infilled.

END OF SECTION 01 2200



DEMOLITION LEGEND:		
DESCRIPTION:		NOTE:
	ASPHALT TO BE REMOVED	
	CONCRETE TO BE REMOVED	
	STONE TO BE REMOVED	
	BRICK TO BE REMOVED	
	LANDSCAPING TO BE REMOVED	
	BUSHES TO BE REMOVED	
	SAW CUT	
	TREE TO BE REMOVED	
	UNDERGROUND UTILITY TO BE REMOVED	
	CURB TO BE REMOVED	
	STONE WALL TO BE REMOVED	

- DEMOLITION NOTES:**
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL AND DISPOSAL OFF-SITE OF ALL ITEMS SHOWN ON THE DEMOLITION PLAN INCLUDING ITEMS ENCOUNTERED DURING EXCAVATION OF BUILDING FOUNDATIONS AND UTILITY PLACEMENT.
 - PRIOR TO STARTING DEMOLITION, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL PERMITS REQUIRED BY LOCAL GOVERNMENTAL AGENCIES.
 - THE CONTRACTOR SHALL COORDINATE WITH THE LOCAL UTILITY COMPANIES FOR THE DISCONNECTION AND REMOVAL OF SERVICES TO EXISTING STRUCTURES.
 - ITEMS SHOWN ON THE DEMOLITION PLAN TO BE SALVAGED SHALL BE TRANSPORTED TO A LOCATION SPECIFIED BY THE OWNER OR THEIR REPRESENTATIVE.
 - ITEMS OF SALVAGEABLE VALUE TO THE CONTRACTOR MAY BE REMOVED WITH THE PERMISSION OF THE OWNER OR THEIR REPRESENTATIVE. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER TO DETERMINE WHAT ITEMS MAY BE SALVAGED. THE CONTRACTOR SHALL NOT STORE THESE ITEMS ON SITE.
 - THE CONTRACTOR SHALL NOT USE EXPLOSIVES OR BURN DEBRIS.
 - THE CONTRACTOR SHALL CONDUCT DEMOLITION OPERATIONS TO ENSURE MINIMAL INTERFERENCE WITH ROADS, SIDEWALKS AND ANY OTHER ADJACENT OCCUPIED FACILITIES.
 - DO NOT CLOSE OR OBSTRUCT ROADS, SIDEWALKS, OR ANY OTHER OCCUPIED FACILITIES WITHOUT PERMISSION FROM THE LOCAL AUTHORITY HAVING JURISDICTION AND OR PROPERTY OWNERS.
 - THE CONTRACTOR SHALL ENSURE SAFE PASSAGE OF PERSONS TRAVERSING THROUGH OR AROUND THE CONSTRUCTION SITE.
 - THE CONTRACTOR SHALL PROTECT SURROUNDING STRUCTURES, UTILITIES, AND OTHER FACILITIES FROM DAMAGE DURING DEMOLITION AND REMOVAL OPERATIONS.
 - BUILDING STRUCTURES INCLUDING FOUNDATIONS AND BASEMENTS, SHALL BE REMOVED AND BACKFILLED WITH APPROVED BACKFILL MATERIAL SHALL BE PLACED IN LIFTS NOT EXCEEDING EIGHT INCHES IN THICKNESS. EACH LIFT SHALL BE COMPACTED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT, OR IF SUCH REPORT IS UNAVAILABLE, TO A MINIMUM OF 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-1557, MODIFIED PROCTOR METHOD +/- 3% OF OPTIMUM MOISTURE CONTENT.
 - UTILITIES SHALL BE REMOVED AND THE TRENCHES BACKFILLED WITH APPROVED BACKFILL MATERIAL. BACKFILL MATERIAL SHALL BE PLACED IN MAXIMUM EIGHT INCH LIFTS AND COMPACTED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT OR TO A MINIMUM OF 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-1557, MODIFIED PROCTOR METHOD +/- 3% OF OPTIMUM MOISTURE CONTENT.
 - TRANSPORT DEMOLITION MATERIAL TO AN INDIANA DEPARTMENT OF ENVIRONMENTAL MANAGEMENT PERMITTED LANDFILL.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THE CONSTRUCTION SITE AND SURROUNDING AREAS ARE FREE OF ACCUMULATED DEBRIS.
 - CONTRACTOR SHALL ENSURE THAT STRUCTURAL INTEGRITY OF THE POWER POLE IS MAINTAINED THROUGHOUT CONSTRUCTION.
 - CONTRACTOR SHALL CLEAN STRUCTURE AND LOCATE CONNECTED PIPES AND COORDINATE WITH DESIGN ENGINEER PRIOR TO CONSTRUCTION.

UTILITY DISCLAIMER:

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR AND ENGINEER MAKE NO GUARANTEES THAT THE UNDERGROUND UTILITIES COMPRISE ALL SUCH UTILITIES IN THE AREA. EITHER IN-SERVICE OR ABANDONED. THE SURVEYOR AND ENGINEER FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.



Know what's below.
Call before you dig.

802 Lord Street, Suite 200
Indianapolis, Indiana 46202

P (317)951-9590
mail@entheosarchitects.com
www.entheosarchitects.com



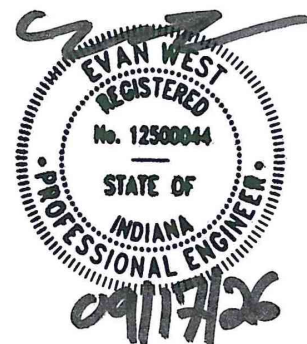
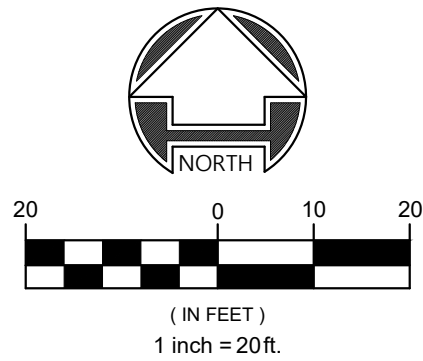
For Construction

Project No. 2024.012
Project Date August 31, 2026
Checked By ETW
Revision Date 2026/07/Rev01 ADD-2

These Drawings and Specifications, and all copies thereof, are and shall remain the property and copyright of the Architect. They shall be used only with respect to this Project and are not to be used on any other Project or Work without prior written permission from the Architect.

St. Joseph University Catholic Parish
New Parish Hall

113 South 5th Street
Terre Haute, Indiana 47807



For Construction

Project No. 2024.012
Project Date August 31, 2026
Checked By ETW
Revision Date 2026/09/17 (Rev'd ADD-2)

These Drawings and Specifications, and all copies thereof, are and shall remain the property and copyright of the Architect. They shall be used only with respect to this Project and are not to be used on any other Project or Work without prior written permission from the Architect.

St. Joseph University Catholic Parish
New Parish Hall

113 South 5th Street
Terre Haute, Indiana 47807

OVERALL SITE PLAN

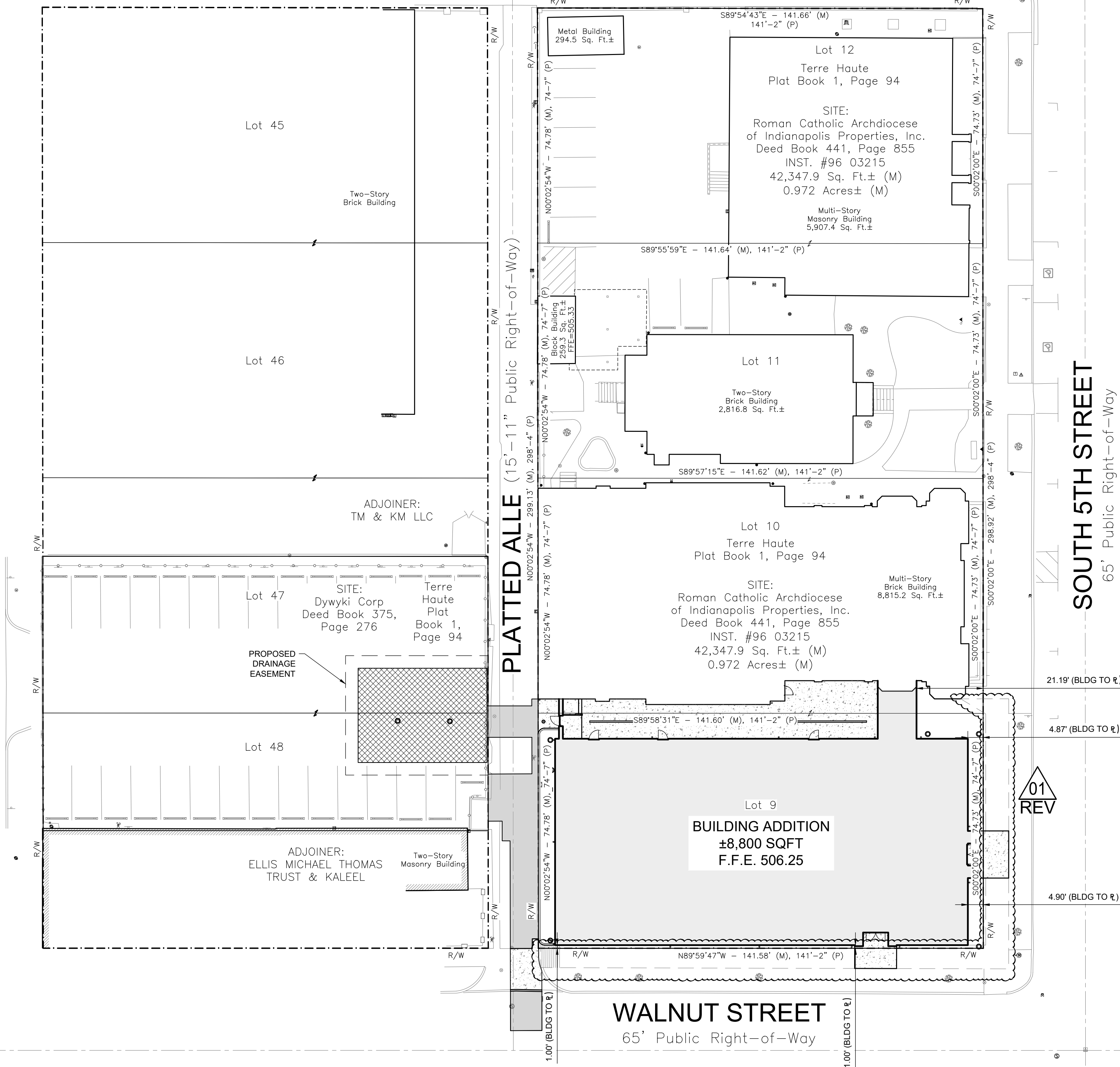
2024.012

C200



Know what's below.
Call before you dig.

SOUTH 4TH STREET
65' Public Right-of-Way



OHIO STREET

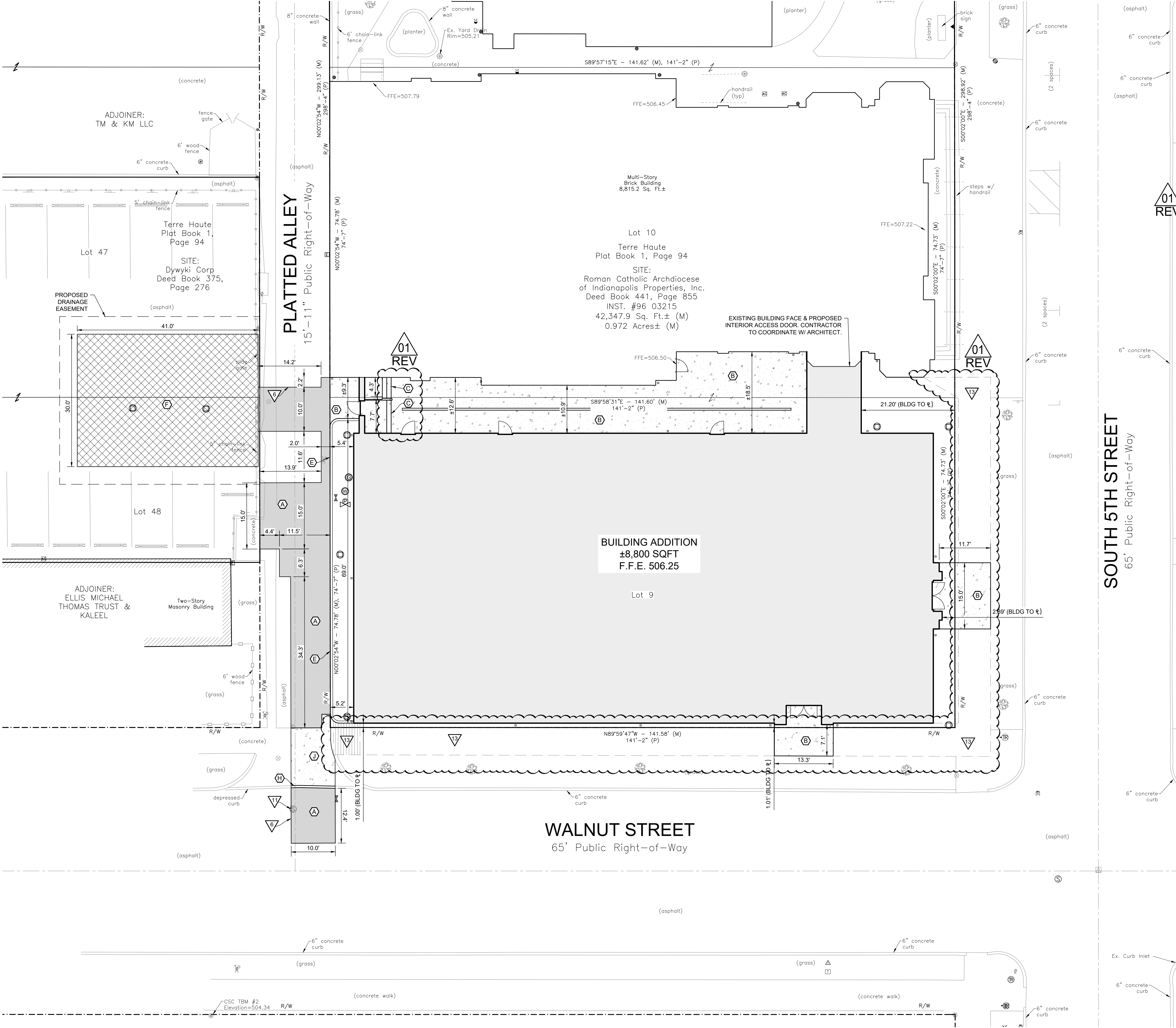
81'-6.5" Public Right-of-Way

SOUTH 5TH STREET

65' Public Right-of-Way

WALNUT STREET

65' Public Right-of-Way



PROPOSED SITE LEGEND:

DESCRIPTION:		DETAIL SHEET
A	RIGHT OF WAY ASPHALT PAVEMENT	C702/NOTE 12
B	CONCRETE SIDEWALK	C700
C	STEPS	REF. ARCH PLANS A304
E	CONCRETE STRAIGHT CURB	C700
F	HEAVY DUTY ASPHALT	C700
G	ACCESSIBLE RAMP	NOTE 13
H	DEPRESSED CURB	C700
J	RIGHT OF WAY CONCRETE	C702/NOTE 12
K	SHEET NOTE	

- SITE LAYOUT NOTES:**
- ALL CONSTRUCTION METHODS AND MATERIALS MUST CONFORM TO CURRENT STANDARDS AND SPECIFICATIONS OF THE FEDERAL, STATE, COUNTY, CITY, OR LOCAL REQUIREMENTS, WHICHEVER HAS JURISDICTION.
 - ALL PARKING STRIPES ARE TO BE 4" PAINTED WHITE. UNLESS OTHERWISE NOTED ON THE PLANS, DETAILS, OR SPECIFICATIONS.
 - ALL DIMENSIONS ARE TO EDGE OF PAVEMENT OR FACE OF CURB, WHERE APPLICABLE.
 - ALL DIMENSIONS TO BUILDING ARE TO THE OUTSIDE FACE OF BRICK OR FACING MATERIAL, WHERE APPLICABLE.
 - THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS IN THE FIELD PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FIELD DIMENSIONS AND ELEVATIONS DURING THE ENTIRE CONSTRUCTION SCHEDULE. IF ANY DISCREPANCIES ARE FOUND IN THESE PLANS FROM ACTUAL FIELD DIMENSIONS, THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY.
 - PROVIDE SMOOTH TRANSITION FROM NEWLY PAVED AREAS TO EXISTING AREAS AS NECESSARY. ALL AREAS WHERE PROPOSED PAVEMENT MEETS EXISTING PAVEMENT, THE EXISTING EDGE OF PAVEMENT SHALL BE FREE OF ALL LOOSE DEBRIS. THE EDGE OF EXISTING ASPHALT PAVEMENT SHALL BE PROPERLY SEALED WITH A TACK COAT MATERIAL IN ALL AREAS WHERE NEW ASPHALT PAVEMENT IS INDICATED TO JOIN EXISTING.
 - ALL EXCAVATED AREAS TO BE SEEDED AND/OR SODDED AFTER FINISH GRADING UNLESS OTHERWISE NOTED. ALL NEWLY SODDED/SEEDED AREAS SHALL HAVE A MINIMUM OF 4" OF TOPSOIL. HOLD SOIL DOWN 1" FROM PAVEMENT ELEVATION. CONTRACTOR TO SUPPLY STRAW MULCH WHERE GRASS SEED HAS BEEN PLANTED.
 - RESURFACE OR RECONSTRUCT AT LEAST TO ORIGINAL CONDITIONS ALL AREAS WHERE TRAFFIC BY CONTRACTORS, SUBCONTRACTORS OR SUPPLIERS HAVE DAMAGED EXISTING PAVEMENT, LAWNS OR OTHER IMPROVEMENTS DURING CONSTRUCTION, AFTER CONSTRUCTION WORK IS COMPLETE.
 - ALL UTILITY TRENCHES WITHIN 5 FEET OF PAVEMENT SHALL BE COMPLETELY BACKFILLED WITH GRANULAR BACKFILL.
 - ALL RADII INDICATED SHALL BE CONSTRUCTED AS CIRCULAR ARCS.
 - CONTRACTOR SHALL REPAIR CONCRETE COLLAR AS NEEDED.
 - CONTRACTOR SHALL CONFIRM WITH TERRE HAUTE DEPARTMENT OF PUBLIC WORKS WHICH PAVEMENT SECTION IS REQUIRED
 - SIDEWALK/RAMPS REPLACEMENT UNDER SEPARATE CONTRACT BY OTHERS.

SITE DATA:	
BUILDING DATA:	
BUILDING AREA:	8,800 SQFT (FOOTPRINT)
PROPERTY AREA:	± 0.97ACRES (42,350 SF)
ZONING DATA:	
PROPOSED USE:	C-6 CENTRAL BUSINESS DISTRICT (RELIGIOUS)
ZONING DISTRICT:	GENERAL BUSINESS
ADJACENT ZONING CLASSIFICATIONS:	
NORTH:	COMMERCIAL
SOUTH:	COMMERCIAL
EAST:	COMMERCIAL
WEST:	COMMERCIAL

811
Know what's below.
Call before you dig.

entheos
ARCHITECTS
LEAD • CREATE • INSPIRE

802 Lord Street, Suite 200
Indianapolis, Indiana 46202

P (317)951-9590
mail@entheosarchitects.com
www.entheosarchitects.com

LANDWORX
LandWork Engineering, LLC
6311 Westfield Blvd
Suite 100
Indianapolis, Indiana 46220
317.616.0177

INDIANAPOLIS
REGISTERED
No. 12366044
STATE OF
INDIANA
Professional Engineer
09117926

For Construction

Project No. 2024.012
Project Date August 31, 2026
Checked By ETW
Revision Date 2026/09/17 (Rev01 ADD-2)

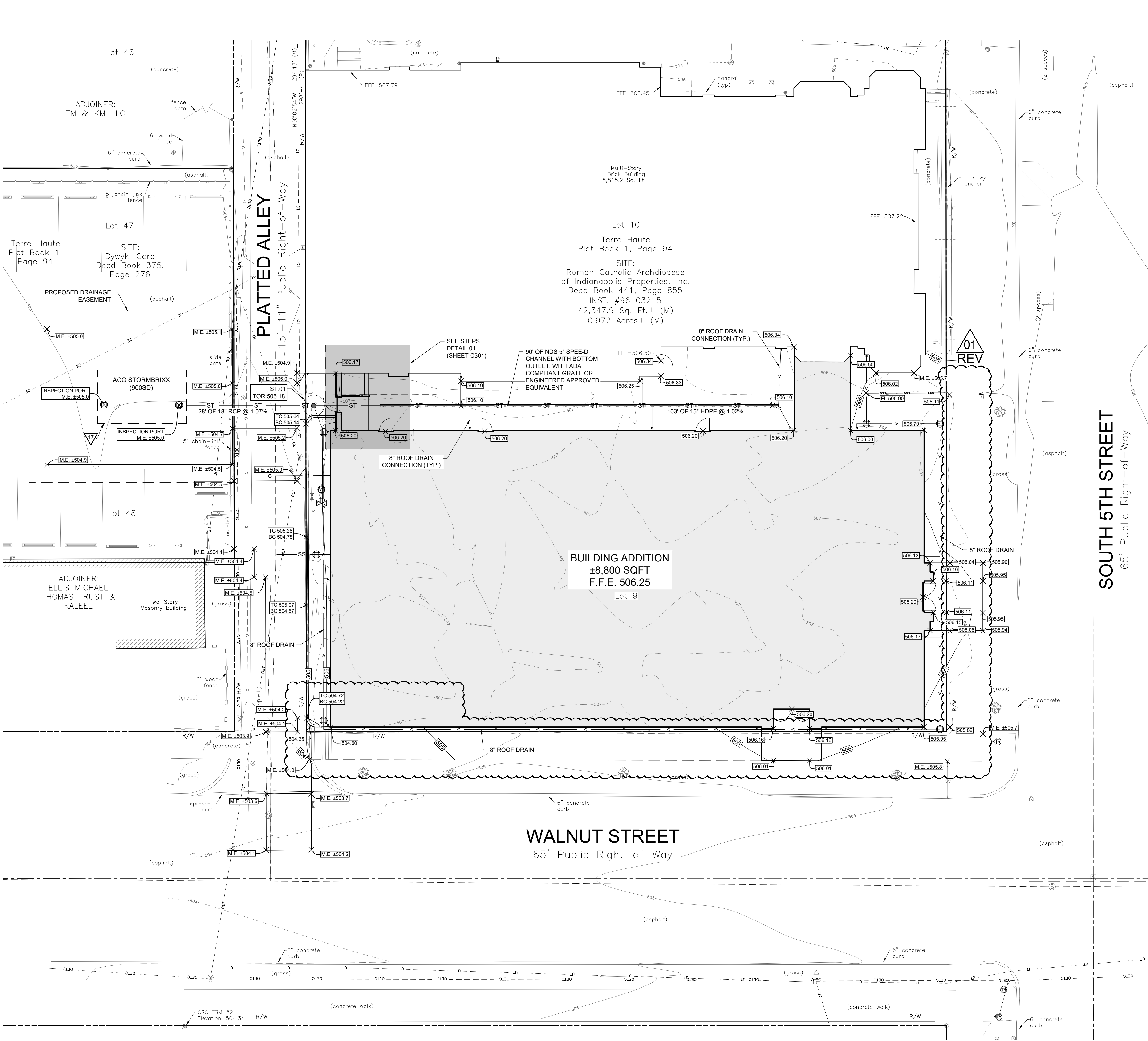
These Drawings and Specifications, and all copies thereof, are and shall remain the property and copyright of the Architect. They shall be used only with respect to this Project and are not to be used on any other Project or Work without prior written permission from the Architect.

2024.012

St. Joseph University Catholic Parish
New Parish Hall

113 South 5th Street
Terre Haute, Indiana 47807

SITE PLAN
C210



PROPOSED GRADING LEGEND:		
DESCRIPTION:		ABBREVIATIONS
	PROPOSED SPOT	TC = TOP OF CURB
	PROPOSED CURB ELEVATION	BC = BOTTOM OF CURB
	PROPOSED CONTOUR	TOR = TOP OF RIM (PAVEMENT ELEVATION)
	EXISTING CONTOUR	INV = STORM INVERT
	PROPOSED GRADE BREAK	FL = FLOWLINE
	PROPOSED FLOWLINE	ME = MATCH EXISTING
	DRAINAGE ARROW	TS = TOP OF STEP
	PROPOSED STORM SEWER	BS = BOTTOM OF STEP
DESCRIPTION:		DETAIL #/SH. #
	PROPOSED ROOFDRAIN	C700
	PROPOSED STORM MANHOLE	C700

GRADING NOTES:

- ALL CONSTRUCTION METHODS AND MATERIALS MUST CONFORM TO CURRENT STANDARDS AND SPECIFICATIONS OF THE FEDERAL, STATE, COUNTY, CITY OR LOCAL REQUIREMENTS, WHICHEVER HAS JURISDICTION.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO STARTING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FIELD DIMENSIONS. IF ANY DISCREPANCIES ARE FOUND IN THESE PLANS FROM THE ACTUAL FIELD CONDITIONS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
- THE EXCAVATING CONTRACTOR MUST TAKE PARTICULAR CARE WHEN EXCAVATING IN AND AROUND EXISTING UTILITY LINES AND EQUIPMENT. VERIFY COVER REQUIREMENTS BY UTILITY CONTRACTORS AND/OR UTILITY COMPANIES SO AS NOT TO CAUSE DAMAGE.
- THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES 72 HOURS BEFORE CONSTRUCTION IS TO START, TO VERIFY IF ANY UTILITIES ARE PRESENT ON SITE. ALL VERIFICATIONS (LOCATION, SIZE AND DEPTH) SHALL BE MADE BY THE APPROPRIATE UTILITY COMPANIES. WHEN EXCAVATING IS AROUND OR OVER EXISTING UTILITIES, THE CONTRACTOR MUST NOTIFY THE UTILITY COMPANY SO A REPRESENTATIVE OF THAT UTILITY COMPANY CAN BE PRESENT TO INSTRUCT AND OBSERVE DURING CONSTRUCTION.
- TRENCHES FOR ALL STORM DRAIN LINES SHALL BE BACKFILLED COMPLETELY WITH ENGINEERED GRANULAR MATERIAL IF WITHIN 5 FEET OF PAVEMENT.
- AFTER STRIPPING TOPSOIL MATERIAL, PROOFROLL WITH A MEDIUM WEIGHT ROLLER TO DETERMINE LOCATIONS OF ANY POCKETS OF UNSUITABLE MATERIAL. THE NECESSITY FOR SUBDRAINS AND/OR REMOVAL OF ANY UNSUITABLE MATERIAL WITHIN THE PROPOSED PARKING AREAS WILL BE DETERMINED AT THE TIME OF CONSTRUCTION. PROVIDE POSITIVE DRAINAGE WITHOUT PONDING, IN ALL AREAS, AFTER INSTALLATION, CONTRACTOR TO TEST FOR, AND CORRECT, IF ANY, "BIRD BATH" CONDITIONS.
- ALL PROPOSED SPOT ELEVATIONS ARE THE FINAL PAVEMENT AND FINAL GRADE ELEVATIONS.
- SEE APPROPRIATE DETAILS TO DETERMINE SUBGRADE ELEVATIONS BELOW FINISH GRADE ELEVATIONS INDICATED.
- FLOW LINE ELEVATIONS ARE GIVEN AT END OF CONCRETE END SECTIONS.
- TOR = TOP OF RIM AND REFLECTS PAVEMENT GRADE.
- NO STORM WATER SHALL BE ROUTED THROUGH THE DETENTION FACILITY UNTIL THE BMP IS INSTALLED AND FULLY FUNCTIONAL AND ALL CONSTRUCTION EROSION CONTROL FOR DISTURBED AREAS ARE INSTALLED TO ENSURE NO SEDIMENT BUILD-UP IN THE UNDERGROUND DETENTION STORAGE FACILITY. THE EROSION CONTROL METHODS AND BMP'S MUST BE INSPECTED AFTER EACH RAIN EVENT AND REPAIRED OR CLEANED WHERE NECESSARY.
- THE BENCH WALLS FOR STORM MANHOLES AND INLETS SHALL FORM A DEFINED CHANNEL, TO A MINIMUM HEIGHT OF 80% OF THE INSIDE DIAMETER OF THE INLET AND OUTLET PIPES TO FORM A 'U' SHAPED CHANNEL, CONSTRUCTED AT A MINIMUM 1/4 INCH PER FOOT SLOPE TO THE MANHOLE WALL.
- STORM SEWER MANHOLE COVERS SHALL HAVE THE WORDS 'STORM SEWER' CAST IN RECESSED LETTERS TWO (2) INCHES IN HEIGHT.
- INLET CASTINGS SHALL HAVE THE WORDS 'NO DUMPING. DRAINS TO STREAM' CAST IN RAISED OR RECESSED LETTERS AT A MINIMUM 1" IN HEIGHT. A SYMBOL OF A FISH SHALL ALSO BE CAST WITH THE LETTERS.
- WHERE CONNECTIONS ARE MADE TO EXISTING MANHOLES OR INLET STRUCTURES, THOSE STRUCTURES SHALL BE REHABILITATED OR REPLACED TO THOSE MINIMUM STANDARDS OUTLINED IN CITY OF TERRE HAUTE STANDARDS AND SPECIFICATIONS, LATEST EDITION.
- ALL PROPOSED STORM SEWER AND DRAINAGE APPURTENANCES SHALL BE IN CONFORMANCE WITH CITY OF TERRE HAUTE STANDARDS AND SPECIFICATIONS, LATEST EDITION. DISCREPANCIES BETWEEN THE PLANS AND THE MANUAL SHALL NOT ALLEVIATE THE CONTRACTOR FROM ADHERING TO THE REQUIREMENTS AS SET FORTH IN THE MANUAL.
- CONTRACTOR SHALL EXCAVATE TO SUBGRADE. PRIOR TO INSTALLATION OF UNDERGROUND DETENTION SYSTEM. CONTRACTOR SHALL COORDINATE WITH GEOTECHNICAL ENGINEER TO CONDUCT TESTS TO ENSURE ADEQUATE INFILTRATION RATES. TEST RESULTS SHOULD BE CONVEYED TO DESIGN ENGINEER TO ENSURE DESIGN ASSUMPTIONS ARE SUFFICIENT.

UTILITY DISCLAIMER:

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR AND ENGINEER MAKE NO GUARANTEES THAT THE UNDERGROUND UTILITIES COMPRISE ALL SUCH UTILITIES IN THE AREA. EITHER IN-SERVICE OR ABANDONED. THE SURVEYOR AND ENGINEER FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

BENCHMARK DATA:	
CGS B 293 1956	ELEVATION 506.30 (NAVD 88)
A DISK SET VERTICALLY IN THE NORTH FACE OF WATER TABLE COURT HOUSE, 128.5 FEET WEST OF THE WEST CURB OF SOUTH STREET, 65 FEET SOUTH OF THE NORTHEAST CORNER OF SAID BUILDING, AND 3.5 FEET ABOVE THE SIDEWALK.	
CSC TBM #2	ELEVATION 504.34
A MAG NAIL WITH WASHER SET IN THE NORTHEAST CORNER OF AN ASPHALT PARKING LOT, LOCATED 32.8 FEET SOUTH OF THE CENTERLINE OF WALNUT STREET AND 200.9 FEET WEST OF THE CENTERLINE OF SOUTH 5TH STREET.	
CSC TBM #3	ELEVATION 503.10
A CUT "X" SET ON A CONCRETE SIDE WALK, LOCATED 32.3 FEET NORTH OF THE CENTERLINE OF OHIO STREET AND 144.7 FEET WEST OF THE CENTERLINE OF SOUTH 5TH STREET.	

UNDERGROUND DETENTION:

ACO STORMBRIXX (900SD) 1.5 LAYER
PROVIDED STORAGE: 1,021 CUBIC FEET
ACO STORMBRIXX TANK INV: 498.42'

PONDING ELEVATIONS
2 YEAR: 500.62'
10 YEAR: 501.39'
25 YEAR: 501.83'
100 YEAR: 502.51'



entheos

ARCHITECTS

LEAD • CREATE • INSPIRE

802 Lord Street, Suite 200
Indianapolis, Indiana 46202

P (317)951-9590
mail@entheosarchitects.com
www.entheosarchitects.com

LANDWORX

LandWorx Engineering, LLC
6311 Westfield Blvd
Suite 100
Indianapolis, Indiana 46220
317.616.0177

Seal of the State of Indiana

Professional Engineer
No. 12368044
2011/12/26

Project No. 2024.012
Project Date August 31, 2026
Checked By ETW
Revision Date 2026/09/17 (Rev 01 ADD-2)

These Drawings and Specifications, and all copies thereof, are and shall remain the property and copyright of the Architect. They shall be used only with respect to this Project and are not to be used on any other Project or Work without prior written permission from the Architect.

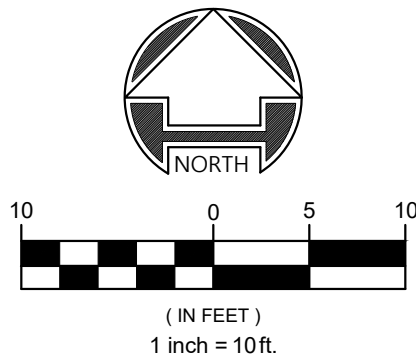
2024.012

St. Joseph University Catholic Parish
New Parish Hall

113 South 5th Street
Terre Haute, Indiana 47807

GRADING PLAN

C300



PROPOSED GRADING LEGEND:

DESCRIPTION:		ABBREVIATIONS
[713.00]	PROPOSED SPOT	TC = TOP OF CURB
TC 712.50 BC 712.00	PROPOSED CURB ELEVATION	BC = BOTTOM OF CURB
[800]	PROPOSED CONTOUR	TOR = TOP OF RIM (PAVEMENT ELEVATION)
-800-	EXISTING CONTOUR	INV = STORM INVERT
-----	PROPOSED GRADE BREAK	FL = FLOWLINE
==>	PROPOSED FLOWLINE	ME = MATCH EXISTING
---	DRAINAGE ARROW	
-ST-	PROPOSED STORM SEWER	
DESCRIPTION:		DETAIL #/SH. #
---	PROPOSED ROOFDRAIN	C700
●	PROPOSED STORM MANHOLE	C700

GRADING NOTES:

- ALL CONSTRUCTION METHODS AND MATERIALS MUST CONFORM TO CURRENT STANDARDS AND SPECIFICATIONS OF THE FEDERAL, STATE, COUNTY, CITY OR LOCAL REQUIREMENTS, WHICHEVER HAS JURISDICTION.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO STARTING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FIELD DIMENSIONS. IF ANY DISCREPANCIES ARE FOUND IN THESE PLANS FROM THE ACTUAL FIELD CONDITIONS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
- THE EXCAVATING CONTRACTOR MUST TAKE PARTICULAR CARE WHEN EXCAVATING IN AND AROUND EXISTING UTILITY LINES AND EQUIPMENT. VERIFY COVER REQUIREMENTS BY UTILITY CONTRACTORS AND/OR UTILITY COMPANIES SO AS NOT TO CAUSE DAMAGE.
- THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES 72 HOURS BEFORE CONSTRUCTION IS TO START, TO VERIFY IF ANY UTILITIES ARE PRESENT ON SITE. ALL VERIFICATIONS (LOCATION, SIZE AND DEPTH) SHALL BE MADE BY THE APPROPRIATE UTILITY COMPANIES. WHEN EXCAVATING IS AROUND OR OVER EXISTING UTILITIES, THE CONTRACTOR MUST NOTIFY THE UTILITY COMPANY SO A REPRESENTATIVE OF THAT UTILITY COMPANY CAN BE PRESENT TO INSTRUCT AND OBSERVE DURING CONSTRUCTION.
- TRENCHES FOR ALL STORM DRAIN LINES SHALL BE BACKFILLED COMPLETELY WITH ENGINEERED GRANULAR MATERIAL IF WITHIN 5 FEET OF PAVEMENT.
- AFTER STRIPPING TOPSOIL MATERIAL, PROOFROLL WITH A MEDIUM WEIGHT ROLLER TO DETERMINE LOCATIONS OF ANY POCKETS OF UNSUITABLE MATERIAL. THE NECESSITY FOR SUBDRAINS AND/OR REMOVAL OF ANY UNSUITABLE MATERIAL WITHIN THE PROPOSED PARKING AREAS WILL BE DETERMINED AT THE TIME OF CONSTRUCTION. PROVIDE POSITIVE DRAINAGE WITHOUT PONDING, IN ALL AREAS, AFTER INSTALLATION, CONTRACTOR TO TEST FOR, AND CORRECT, IF ANY, "BIRD BATH" CONDITIONS.
- ALL PROPOSED SPOT ELEVATIONS ARE THE FINAL PAVEMENT AND FINAL GRADE ELEVATIONS.
- SEE APPROPRIATE DETAILS TO DETERMINE SUBGRADE ELEVATIONS BELOW FINISH GRADE ELEVATIONS INDICATED.
- FLOW LINE ELEVATIONS ARE GIVEN AT END OF CONCRETE END SECTIONS.
- TOR = TOP OF RIM AND REFLECTS PAVEMENT GRADE.
- NO STORM WATER SHALL BE ROUTED THROUGH THE DETENTION FACILITY UNTIL THE BMP IS INSTALLED AND FULLY FUNCTIONAL AND ALL CONSTRUCTION EROSION CONTROL FOR DISTURBED AREAS ARE INSTALLED TO ENSURE NO SEDIMENT BUILD-UP IN THE UNDERGROUND DETENTION STORAGE FACILITY. THE EROSION CONTROL METHODS AND BMP'S MUST BE INSPECTED AFTER EACH RAIN EVENT AND REPAIRED OR CLEANED WHERE NECESSARY.
- THE BENCH WALLS FOR STORM MANHOLES AND INLETS SHALL FORM A DEFINED CHANNEL, TO A MINIMUM HEIGHT OF 80% OF THE INSIDE DIAMETER OF THE INLET AND OUTLET PIPES TO FORM A 'U' SHAPED CHANNEL, CONSTRUCTED AT A MINIMUM 1/4 INCH PER FOOT SLOPE TO THE MANHOLE WALL.
- STORM SEWER MANHOLE COVERS SHALL HAVE THE WORDS 'STORM SEWER' CAST IN RECESSED LETTERS TWO (2) INCHES IN HEIGHT.
- INLET CASTINGS SHALL HAVE THE WORDS 'NO DUMPING, DRAINS TO STREAM' CAST IN RAISED OR RECESSED LETTERS AT A MINIMUM 1" IN HEIGHT. A SYMBOL OF A FISH SHALL ALSO BE CAST WITH THE LETTERS.
- WHERE CONNECTIONS ARE MADE TO EXISTING MANHOLES OR INLET STRUCTURES, THOSE STRUCTURES SHALL BE REHABILITATED OR REPLACED TO THOSE MINIMUM STANDARDS OUTLINED IN CITY OF TERRE HAUTE STANDARDS AND SPECIFICATIONS, LATEST EDITION.
- ALL PROPOSED STORM SEWER AND DRAINAGE APPURTENANCES SHALL BE IN CONFORMANCE WITH CITY OF TERRE HAUTE STANDARDS AND SPECIFICATIONS, LATEST EDITION. DISCREPANCIES BETWEEN THE PLANS AND THE MANUAL SHALL NOT ALLEVIATE THE CONTRACTOR FROM ADHERING TO THE REQUIREMENTS AS SET FORTH IN THE MANUAL.
- CONTRACTOR SHALL EXCAVATE TO SUBGRADE. PRIOR TO INSTALLATION OF UNDERGROUND DETENTION SYSTEM. CONTRACTOR SHALL COORDINATE WITH GEOTECHNICAL ENGINEER TO CONDUCT TESTS TO ENSURE ADEQUATE INFILTRATION RATES. TEST RESULTS SHOULD BE CONVEYED TO DESIGN ENGINEER TO ENSURE DESIGN ASSUMPTIONS ARE SUFFICIENT.

UTILITY DISCLAIMER:

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR AND ENGINEER MAKE NO GUARANTEES THAT THE UNDERGROUND UTILITIES COMPRISE ALL SUCH UTILITIES IN THE AREA. EITHER IN-SERVICE OR ABANDONED. THE SURVEYOR AND ENGINEER FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

BENCHMARK DATA:

CGS B 293 1956	ELEVATION 506.30 (NAVD 88)
A DISK SET VERTICALLY IN THE NORTH FACE OF WATER TABLE COURT HOUSE, 128.5 FEET WEST OF THE WEST CURB OF SOUTH STREET, 65 FEET SOUTH OF THE NORTHEAST CORNER OF SAID BUILDING, AND 3.5 FEET ABOVE THE SIDEWALK.	
CSC TBM #2	ELEVATION 504.34
A MAG NAIL WITH WASHER SET IN THE NORTHEAST CORNER OF AN ASPHALT PARKING LOT, LOCATED 32.8 FEET SOUTH OF THE CENTERLINE OF WALNUT STREET AND 200.9 FEET WEST OF THE CENTERLINE OF SOUTH 5TH STREET.	
CSC TBM #3	ELEVATION 503.10
A CUT "X" SET ON A CONCRETE SIDE WALK, LOCATED 32.3 FEET NORTH OF THE CENTERLINE OF OHIO STREET AND 144.7 FEET WEST OF THE CENTERLINE OF SOUTH 5TH STREET.	



Know what's below.
Call before you dig.

entheos
ARCHITECTS

LEAD ♦ CREATE ♦ INSPIRE

802 Lord Street, Suite 200
Indianapolis, Indiana 46202

P (317)951-9590
mail@entheosARCHITECTS.com
www.entheosARCHITECTS.com



For Construction

Project No. 2024.012
Project Date August 31, 2026
Checked By ETW
Revision Date 2026/09/17 (Rev'd ADD-2)

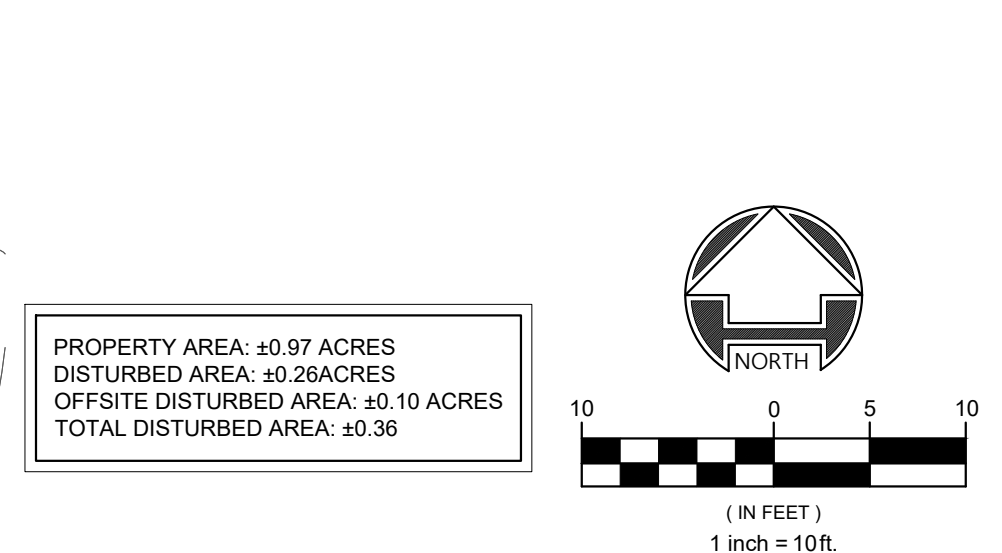
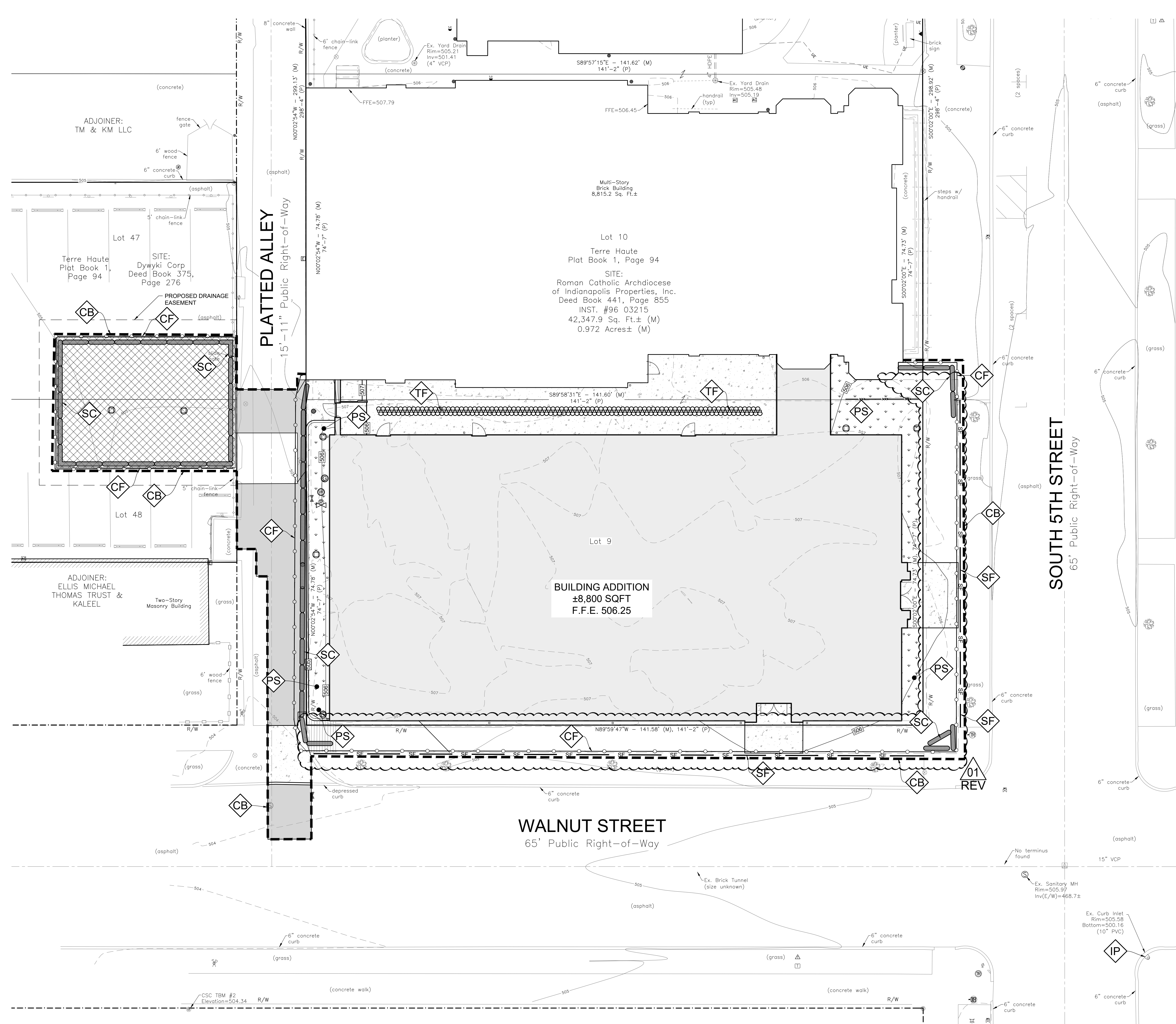
These Drawings and Specifications, and all copies thereof, are and shall remain the property and copyright of the Architect. They shall be used only with respect to this Project and are not to be used on any other Project or Work without prior written permission from the Architect.

St. Joseph University Catholic Parish
New Parish Hall

113 South 5th Street
Terre Haute, Indiana 47807

2024.012

DETAILED
GRADING PLAN
C301



EROSION CONTROL LEGEND:		
DESCRIPTION & CALL SYMBOL:		DETAIL SHEET
	CONSTRUCTION ENTRANCE	C410
	CONSTRUCTION STAGING AREA	C410
	CONCRETE WASHOUT AREA	C410
	INSERT INLET PROTECTION	C410
	TEMPORARY CHAIN LINK FENCE	C410
	SEDIMENT CONTROL TUBE	C410
	PERMANENT SEEDING	C410
	CONSTRUCTION BOUNDARY	
	SILT FENCE	
	TRENCH DRAIN FILTER	C410

- EROSION CONTROL NOTES:**
- ALL CONSTRUCTION METHODS AND MATERIALS MUST CONFORM TO CURRENT STANDARDS AND SPECIFICATIONS OF THE FEDERAL, STATE, COUNTY, CITY OR LOCAL REQUIREMENTS, WHICHEVER HAS JURISDICTION.
 - LAND ALTERATION WHICH STRIPS THE LAND OF VEGETATION, INCLUDING REGRADING, SHALL BE DONE IN A WAY THAT WILL MINIMIZE EROSION.
 - THIS PLAN SHALL NOT BE CONSIDERED ALL INCLUSIVE AS THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT SOIL SEDIMENT FROM LEAVING THE SITE. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTION.
 - SEDIMENT LADEN WATER SHALL BE DETAINED BY EROSION CONTROL PRACTICES AS NEEDED TO MINIMIZE SEDIMENTATION IN THE RECEIVING STREAM. NO STORM WATER SHALL BE DISCHARGED FROM THE SITE IN A MANNER THAT CAUSES EROSION AT THE POINT OF DISCHARGE.
 - WASTES AND UNUSED BUILDING MATERIALS SHALL NOT BE ALLOWED TO BE CARRIED FROM THE SITE BY STORMWATER RUNOFF. PROPER DISPOSAL OF ALL WASTES AND UNUSED BUILDING MATERIALS IS REQUIRED.
 - SEDIMENT BEING TRACED ONTO PUBLIC OR PRIVATE ROADWAYS SHALL BE MINIMIZED. CLEARING OF ACCUMULATED SEDIMENT SHALL NOT INCLUDE FLUSHING WITH WATER. CLEARED SEDIMENT SHALL BE RETURNED TO THE SITE FOR DISPOSAL.
 - SOIL WHICH HAS ACCUMULATED NEXT TO EROSION CONTROL DEVICES SHALL BE COLLECTED AND REDISTRIBUTED ON SITE AFTER EACH RAINFALL EVENT, AND AT LEAST ONCE A WEEK.
 - IF INSTALLATION OF STORM DRAINAGE SYSTEM SHOULD BE INTERRUPTED BY WEATHER OR NIGHTFALL, THE PIPE ENDS SHALL BE COVERED WITH FILTER FABRIC.
 - ALL EXISTING STRUCTURES, FENCING, TREES AND ETC., WITHIN CONSTRUCTION AREA SHALL BE REMOVED AND DISPOSED OF OFF SITE. BURNING IS NOT ALLOWED ON-SITE.
 - SCHEDULE OF EARTHWORK ACTIVITIES:

THE DURATION OF TIME WHICH AN AREA REMAINS EXPOSED SHALL BE KEPT TO A PRACTICAL MINIMUM. THE AREA SHALL BE STABILIZED SOON AS POSSIBLE. TEMPORARY VEGETATION OR MULCHING SHALL BE USED TO PROTECT EXPOSED AREAS IF PERMANENT VEGETATION CANNOT BE SEEDED WITHIN 14 DAYS OR ACTIVITY CEASES FOR MORE THAN 21 DAYS OR AS DIRECTED BY THE ENGINEER.

TOPSOIL REPLACEMENT SHALL TAKE PLACE FROM MARCH 1 TO OCTOBER 31. STOCKPILE TOPSOIL AT ALL OTHER TIME OF THE YEAR. PERMANENT AND FINAL VEGETATION AND STRUCTURAL EROSION CONTROL DEVICES SHALL BE INSTALLED WITHIN SEVEN (7) DAYS AFTER FINAL GRADING OR AS SOON AS POSSIBLE.
 - INFORM ALL GENERAL CONTRACTORS, CONSTRUCTION MANAGEMENT FIRMS, GRADING OR EXCAVATING CONTRACTORS, AND ALL OTHER CONTRACTORS WITH PRIMARY OVERSIGHT ON INDIVIDUAL BUILDING LOTS OF THE TERMS AND CONDITIONS OF THE STORM WATER RULE 5, AND THE CONDITIONS AND STANDARDS OF THIS EROSION CONTROL PLAN, SCHEDULE FOR IMPLEMENTATION, AND THE CONSTRUCTION SITE EROSION CONTROL PLAN REPORT.
 - ALL PROPOSED EROSION AND SEDIMENT CONTROL SHALL BE IN CONFORMANCE WITH CSGP, LATEST EDITION. DISCREPANCIES BETWEEN THE PLANS AND THE MANUAL SHALL NOT ALLEVIATE THE CONTRACTOR FROM ADHERING TO THE REQUIREMENTS AS SET FORTH IN THE MANUAL.
 - ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES MAY BE REQUIRED BY THE INSPECTOR.
 - THE SITE WILL NOT REQUIRE DEWATERING ACTIVITIES. IN THE EVENT THAT DEWATERING IS REQUIRED, THE CONTRACTOR SHALL IMPLEMENT DEWATERING AS NECESSARY.
 - PUBLIC AND PRIVATE ROADWAYS SHALL BE KEPT CLEARED OF ACCUMULATED SEDIMENT. BULK CLEARING OF ACCUMULATED SEDIMENT SHALL NOT INCLUDE FLUSHING THE AREA WITH WATER. PROJECTS SUBJECT TO IDEMS CSGP SHALL REMOVE SEDIMENT FROM PUBLIC RIGHTS-OF-WAY NOT EXCLUSIVE OF CONSTRUCTION TRAFFIC AT THE END OF EACH DAY PER THE CSGP REQUIREMENTS.

UTILITY DISCLAIMER:

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR AND ENGINEER MAKE NO GUARANTEES THAT THE UNDERGROUND UTILITIES COMPRISE ALL SUCH UTILITIES IN THE AREA. EITHER IN-SERVICE OR ABANDONED. THE SURVEYOR AND ENGINEER FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.



LEAD ♦ CREATE ♦ INSPIRE

802 Lord Street, Suite 200
Indianapolis, Indiana 46202

P (317)951-9590
mail@entheosarchitects.com
www.entheosarchitects.com

LandWork Engineering, LLC
6311 Westfield Blvd
Suite 100
Indianapolis, Indiana 46220
317.616.0177

For Construction

Project No.	2024.012
Project Date	August 31, 2026
Checked By	ETW
Revision Date	2026/09/17 (Rev01 ADD-2)

These Drawings and Specifications, and all copies thereof, are and shall remain the property and copyright of the Architect. They shall be used only with respect to this Project and are not to be used on any other Project or Work without prior permission from the Architect.

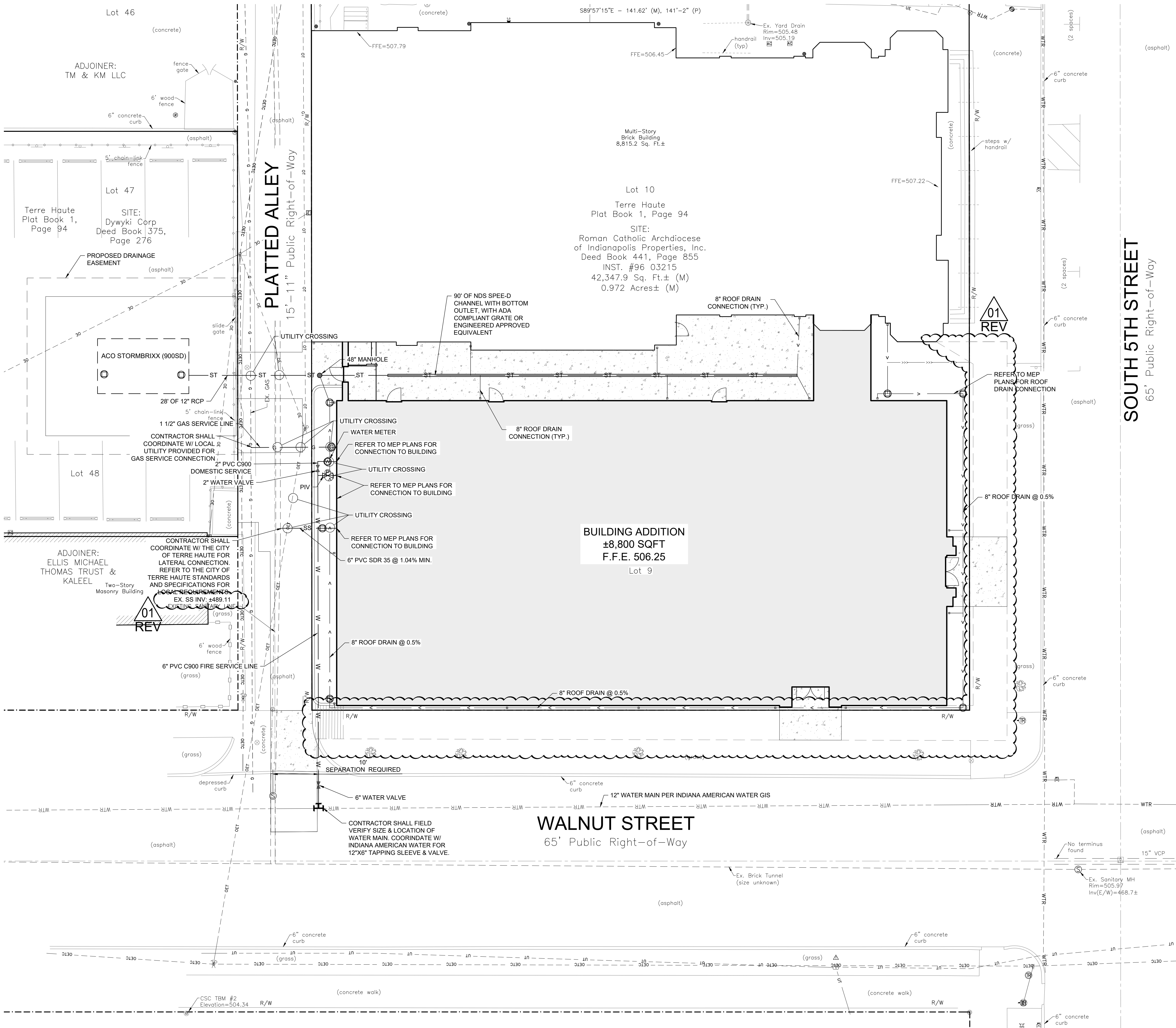
2024.012

St. Joseph University Catholic Parish
New Parish Hall

113 South 5th Street
Terre Haute, Indiana 47807

CONSTRUCTION
EROSION CONTROL PLAN

C401



UTILITY LEGEND:		
	DESCRIPTION / SYMBOL	NOTE:
	PROPOSED SANITARY MANHOLE	
	PROPOSED CLEAN OUT	
	PROPOSED WATER METER	
	PROPOSED GAS METER	
	PROPOSED ELECTRIC METER	
	PROPOSED ELECTRIC TRANSFORMER	
	PROPOSED FIRE HYDRANT	
	PROPOSED WATER VALVE	
	PROPOSED POST INDICATOR VALVE	
	PROPOSED FIRE DEPARTMENT CONNECTION	
	PROPOSED ELECTRIC LINE	
	PROPOSED TELEPHONE LINE	
	PROPOSED WATER LINE	
	PROPOSED GAS LINE	
	PROPOSED FIRE PROTECTION LINE	
	PROPOSED TELEPHONE & ELECTRIC LINE	

- UTILITY NOTES:**
- THE UTILITIES INDICATED ON THESE PLANS AND ON THE SURVEY MAY NOT BE A COMPLETE INVENTORY OF ALL THE EXISTING UTILITIES PRESENT ON AND AROUND THE SITE. THE LOCATION AND SIZE OF THESE UTILITIES MAY BE APPROXIMATE. THE ENGINEER SHALL NOT BE HELD LIABLE FOR ANY INACCURATE UTILITY INFORMATION INDICATED, IMPLIED, OR NOT INDICATED ON THESE PLANS.
 - IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO LOCATE AND MAINTAIN IN SERVICE ALL EXISTING UTILITIES ENCOUNTERED DURING CONSTRUCTION UNLESS OTHERWISE INDICATED IN THE DRAWINGS. ANY PIPING, WHICH CAN BE REMOVED DURING CONSTRUCTION WITHOUT UNDUE INTERRUPTION OF SERVICE MAY BE REMOVED AND REPLACED BY THE CONTRACTOR, AT HIS EXPENSE WITH THE PERMISSION OF THE OWNER.
 - BEFORE WORKING WITH OR AROUND EXISTING UTILITIES, THE APPLICABLE UTILITY COMPANY SHALL BE CONTACTED BY THE CONTRACTOR.
 - WHEN CONNECTIONS ARE TO BE MADE TO EXISTING PIPING AND STRUCTURES OR WHERE CONSTRUCTION IS IN THE VICINITY OF EXISTING PIPING THE LOCATION AND ELEVATION OF THE EXISTING PIPING SHALL BE FIELD VERIFIED AND NOTIFICATION GIVEN TO THE OWNER IF THE EXISTING PIPING IS FOUND TO BE DIFFERENT THAN THAT SHOWN ON THE DRAWINGS.
 - FOR CLARITY OF THESE DRAWINGS, PIPES MAY NOT BE DRAWN TO SCALE OR EXACTLY LOCATED.
 - ALL NEW WATER LINES SHALL HAVE A MINIMUM OF 54 INCHES OF COVER.
 - MINIMUM OF 18 INCHES OF VERTICAL CLEARANCE AND 10 FEET OF HORIZONTAL CLEARANCE SHALL BE PROVIDED BETWEEN NEW WATER AND SANITARY SEWER LINES. MINIMUM CLEARANCE IS NOT PROVIDED THEN THE SEWER MUST BE CONSTRUCTED OF WATER WORKS GRADE DUCTILE IRON PIPE WITH MECHANICAL JOINTS OR PVC (SDR-26) PIPE WITH GASKETTED, COMPRESSION-TYPE JOINTS WITHIN TEN FEET OF THE WATER LINE.
 - NEW 6" SANITARY LATERALS SHALL BE SDR-35, SCHEDULE 80 OR SCHEDULE 40 PVC PIPE CONFORMING TO ASTM D2241, AND SHALL MEET THE DEFLECTION STANDARDS OF ASTM D-3303.
 - WHEN CONNECTIONS ARE TO BE MADE TO EXISTING PIPING AND STRUCTURES OR WHERE CONSTRUCTION IS IN THE VICINITY OF EXISTING PIPING THE LOCATION AND ELEVATION OF THE EXISTING PIPING SHALL BE FIELD VERIFIED AND NOTIFICATION GIVEN TO THE OWNER IF THE EXISTING PIPING IS FOUND TO BE DIFFERENT THAN THAT SHOWN ON THE DRAWINGS.
 - IT IS THE RESPONSIBILITY OF THE CONTRACTOR OR CONTRACTORS TO OBTAIN ALL FEDERAL, STATE, COUNTY, CITY OR LOCAL PERMITS FOR ANY AND ALL WORK REQUIRED UNLESS OTHERWISE NOTED. THE CONTRACTOR OR CONTRACTORS ARE RESPONSIBLE TO PAY FOR ALL REQUIRED PERMITS BY ANY OR ALL AGENCIES MENTIONED ABOVE UNLESS OTHERWISE NOTED IN THE CONTRACT OR SPECIFICATIONS. ALL ASSOCIATED BONDING REQUIREMENTS AND COSTS ARE INCIDENTAL TO THE CONTRACT.
 - THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS IN THE FIELD PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FIELD DIMENSIONS AND ELEVATIONS DURING THE ENTIRE CONSTRUCTION SCHEDULE. IF ANY DISCREPANCIES ARE FOUND IN THESE ENGINEERING PLANS FROM ACTUAL FIELD DIMENSIONS, THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY.
 - ALL CONSTRUCTION METHODS AND MATERIALS MUST CONFORM TO CURRENT STANDARDS AND SPECIFICATIONS OF THE FEDERAL, STATE, COUNTY, CITY OR LOCAL REQUIREMENTS, WHICHEVER HAS JURISDICTION.

UTILITY DISCLAIMER:

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR AND ENGINEER MAKE NO GUARANTEES THAT THE UNDERGROUND UTILITIES COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED. THE SURVEYOR AND ENGINEER FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.



2024.012
St. Joseph University Catholic Parish
New Parish Hall

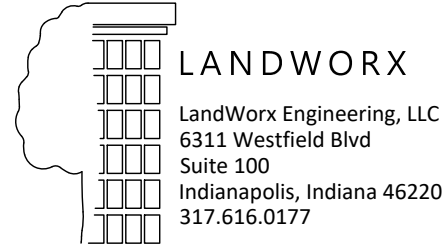
113 South 5th Street
Terre Haute, Indiana 47807

UTILITY PLAN

C500

802 Lord Street, Suite 200
Indianapolis, Indiana 46202

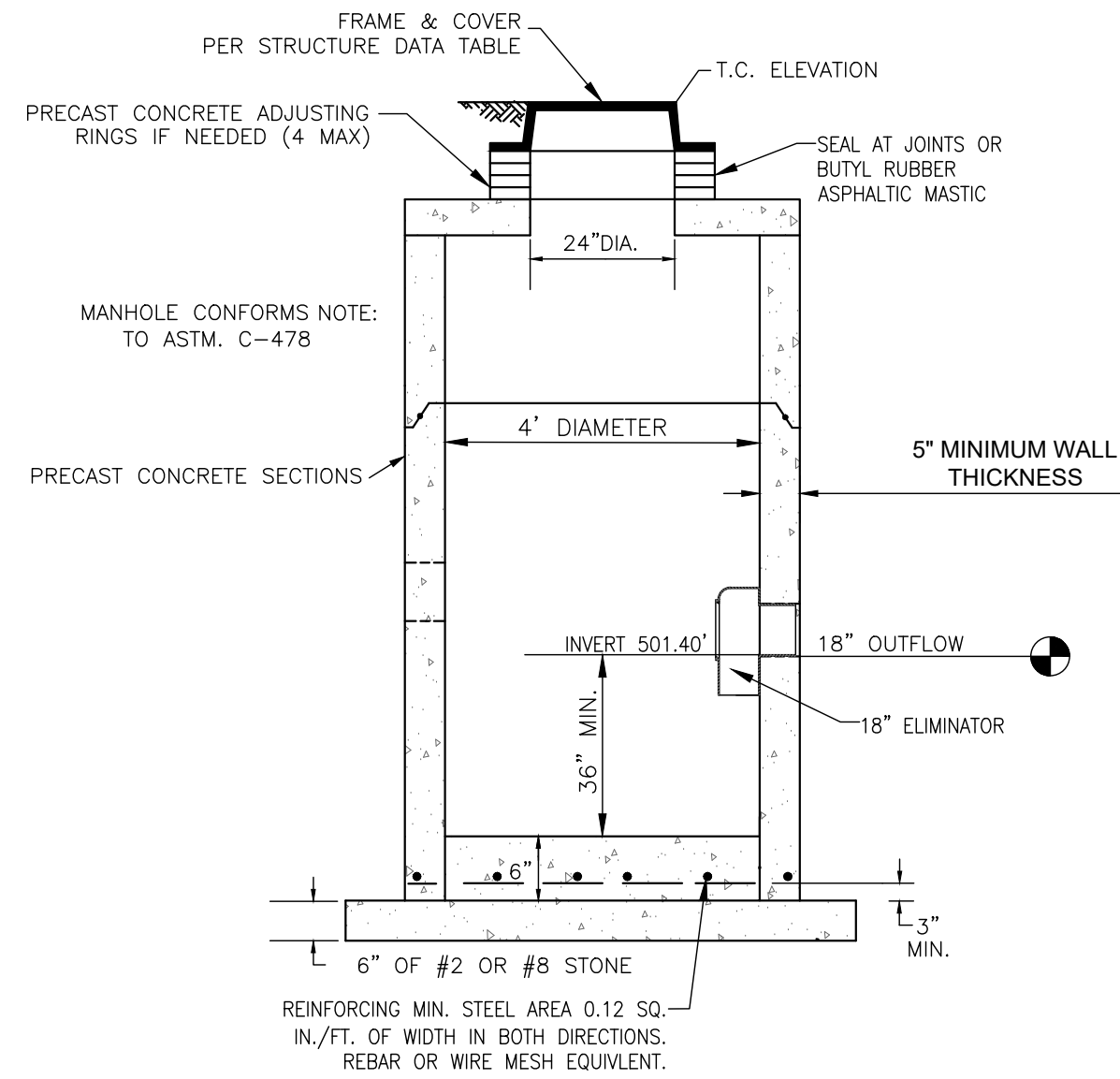
P (317)951-9590
mail@entheosARCHITECTS.com
www.entheosARCHITECTS.com



For Construction

Project No. 2024.012
Project Date August 31, 2026
Checked By ETW
Revision Date 2026/09/17 (Rev01 ADD-2)

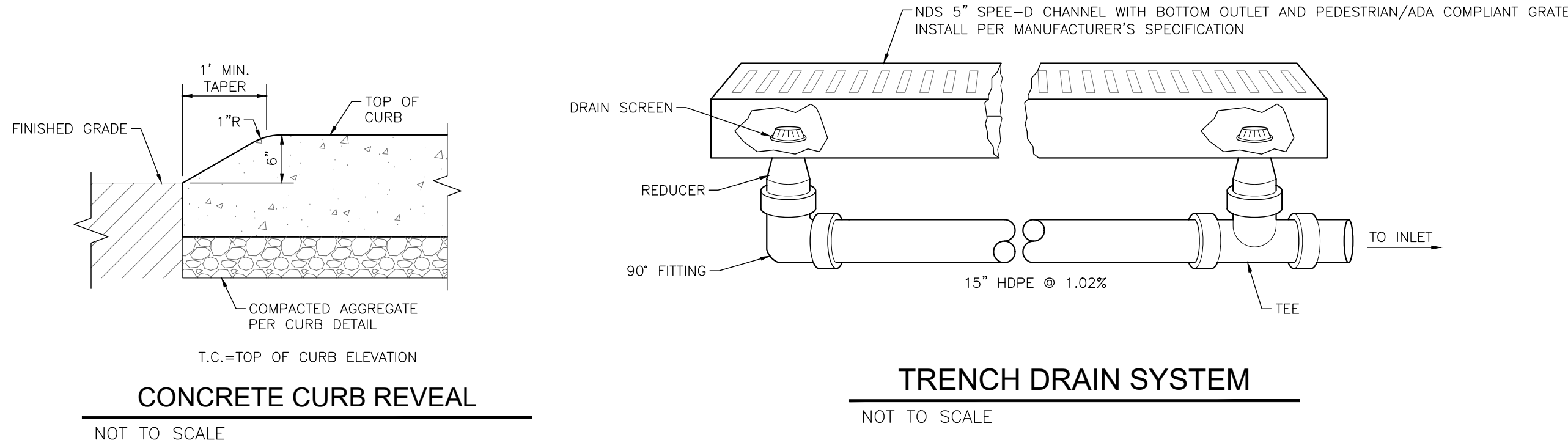
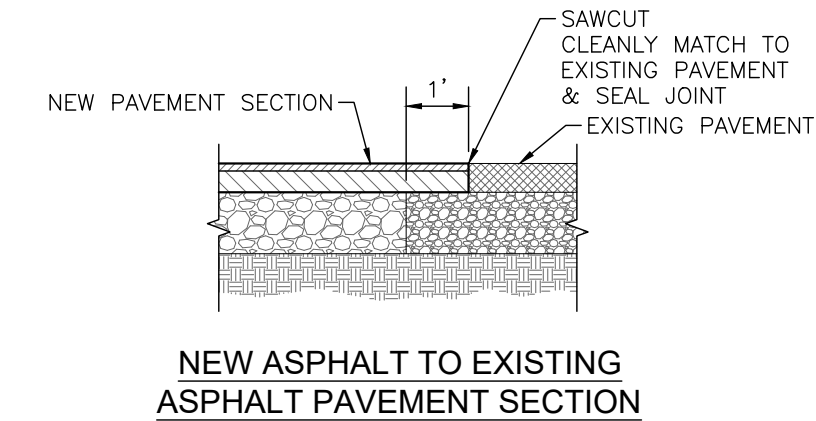
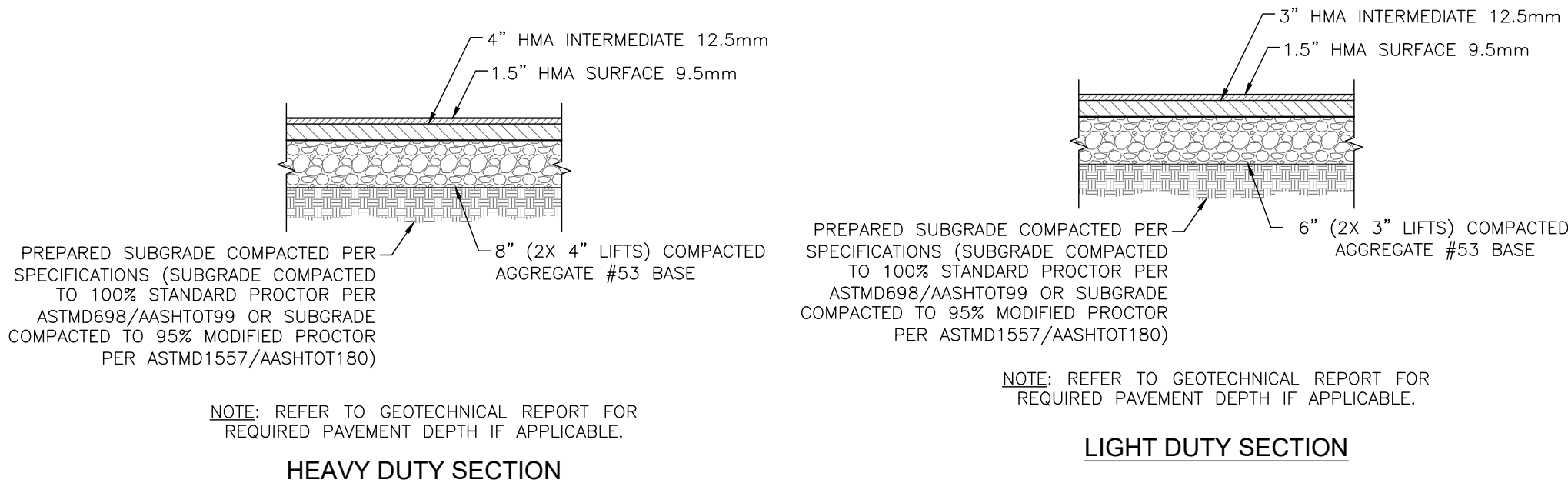
These Drawings and Specifications, and all copies thereof, are and shall remain the property and copyright of the Architect. They shall be used only with respect to this Project and are not to be used on any other Project or Work without prior written permission from the Architect.



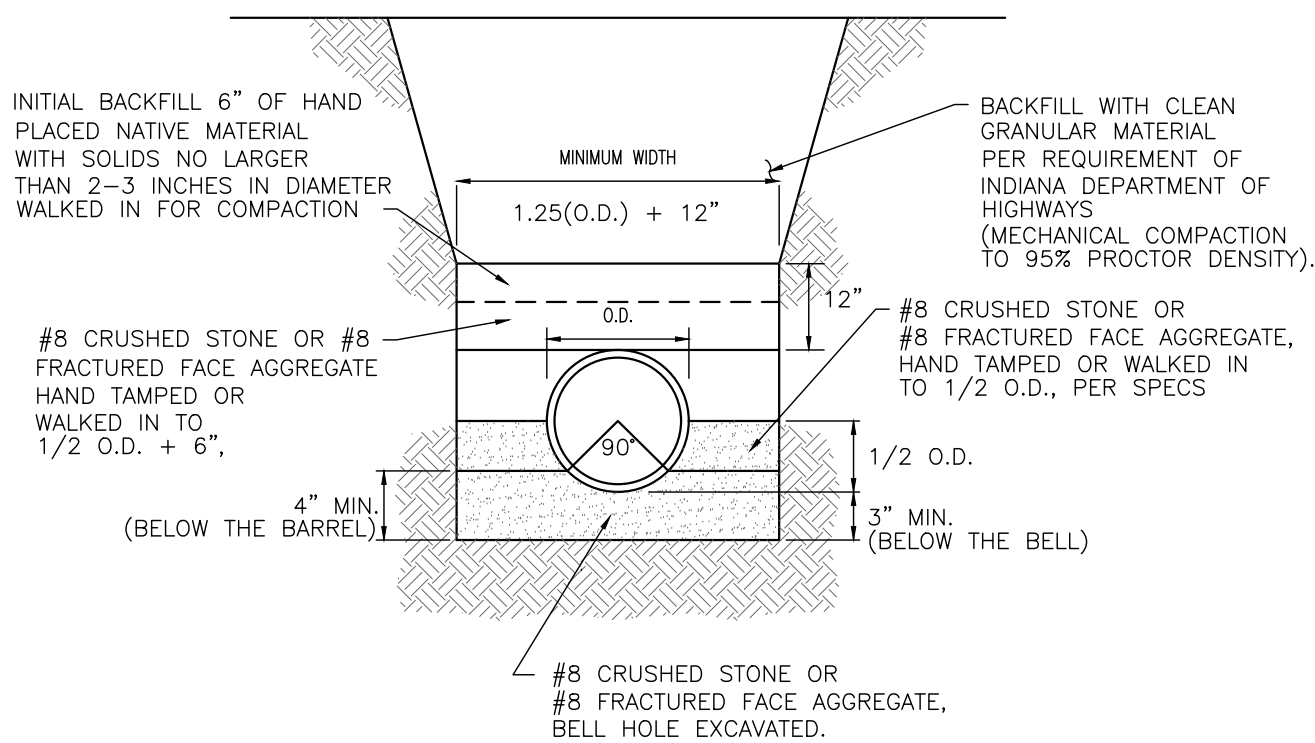
Ground Water Rescue, Inc.
24 Ryden St., Quincy, MA 02169
Tel: 617-773-1128 Fax: 617-773-0510
www.kleanstream.com



18" ELIMINATOR REQUIRED

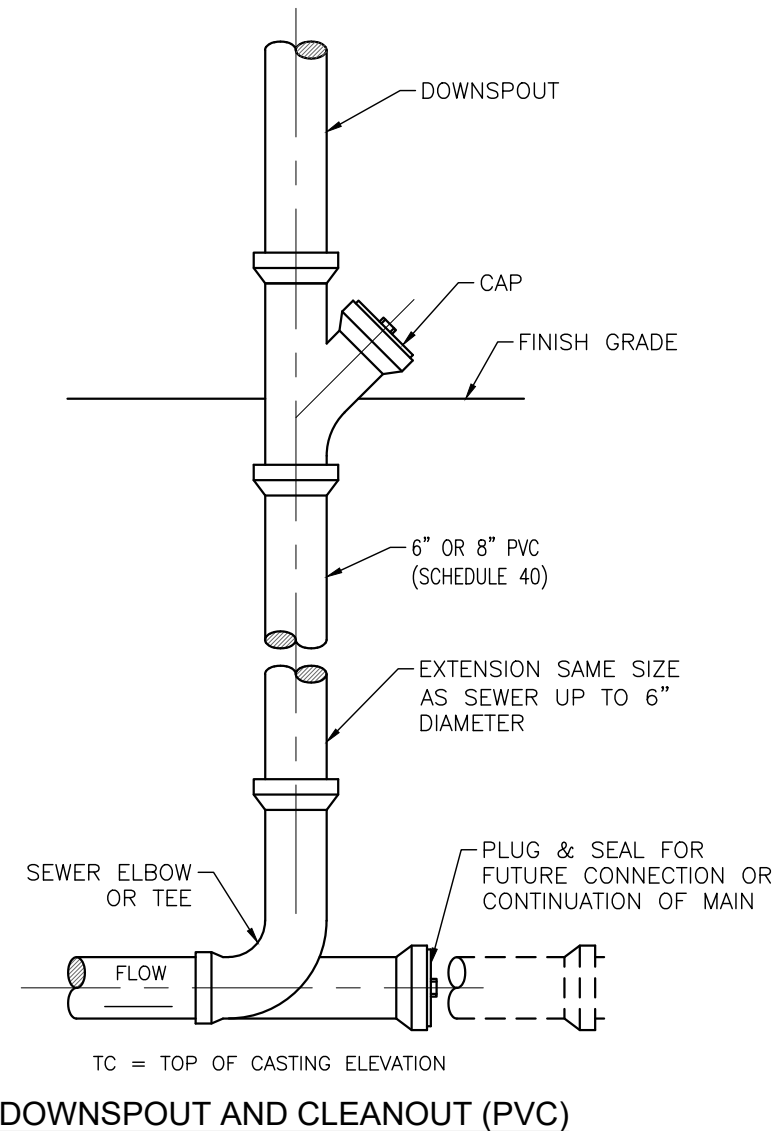


TERRE HAUTE STANDARDS AND SPECS NOTE FOR BACKFILLING:
BACKFILLING SHALL BE DONE IN ACCORDANCE WITH THE LATEST VERSION OF THE INDIANA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS. EXCAVATIONS SHALL BE FILLED WITH FLOWABLE MORTAR (FLOWABLE FILL) TO A DEPTH NO MORE THAN 6" BELOW THE TOP SURFACE OF EXISTING PAVEMENT. "B" BORROW MAY BE USED WITH PERMISSION FROM THE DEPARTMENT OF ENGINEERING. ANY FLOWABLE FILL USED IN THE CITY RIGHT-OF-WAY SHALL BE REMOVABLE AND MEET INDOT SPECIFICATION 213. THE FILL SHALL BE FREE FROM LARGE OR FROZEN LUMPS, WOOD AND OTHER EXTRANEIOUS MATERIAL. IT SHALL CONSIST OF SUITABLE SAND, CRUSHED STONE, OR OTHER APPROVED MATERIAL. (PEA GRAVEL IS NO LONGER AN APPROVED BACKFILL MATERIAL). THE FILL MATERIAL SHALL BE PLACED IN LAYERS NOT TO EXCEED TWELVE (12) INCHES. LOOSE MEASUREMENT, AND EACH LAYER COMPACTED THOROUGHLY BY APPROVED MECHANICAL MEANS. EACH LIFT SHALL BE COMPACTED TO AT LEAST NINETY FIVE PERCENT (95%) OF ITS MAXIMUM DRY DENSITY.

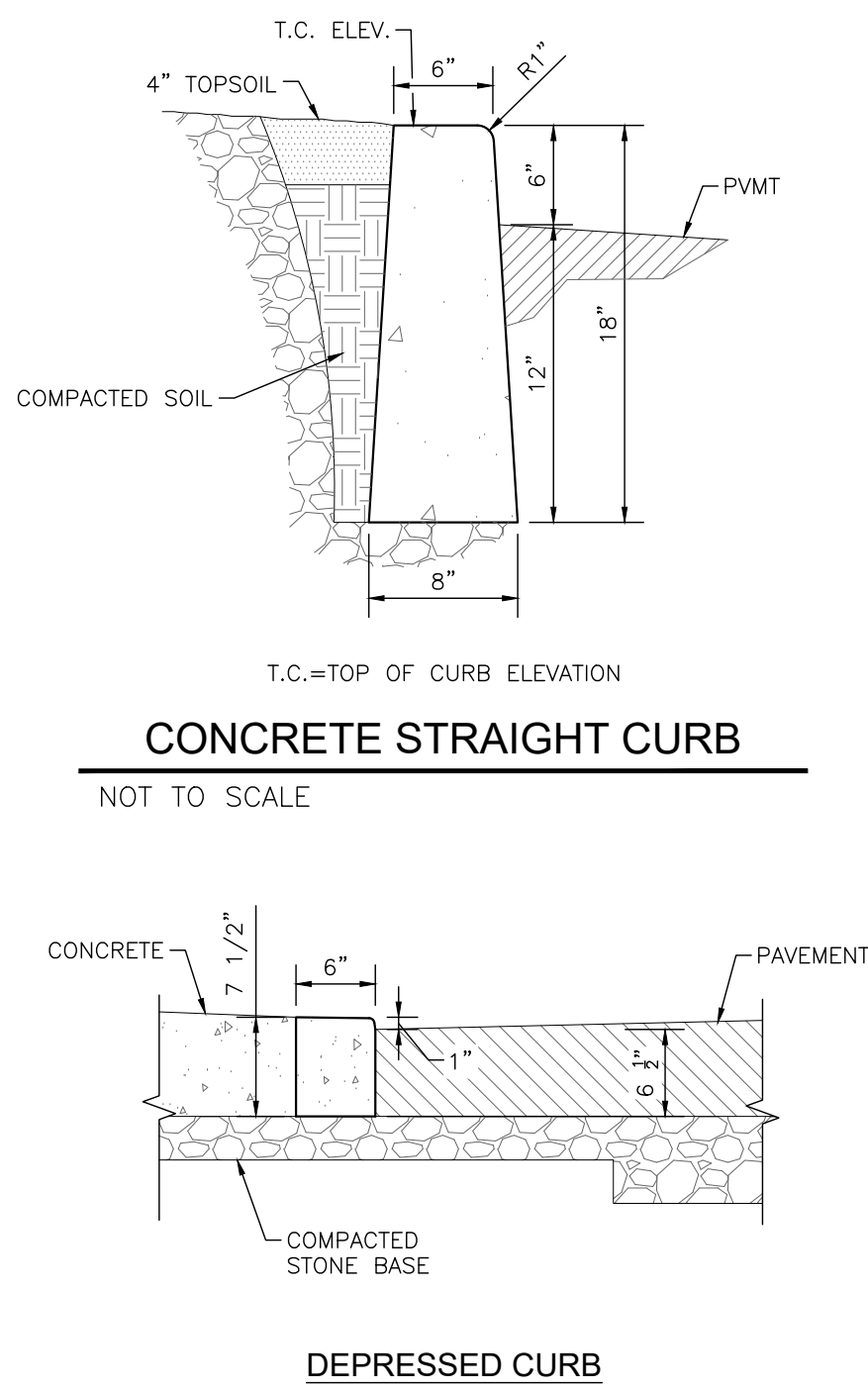


PIPE SIZE	6" TO 15"	18" & OVER
BEDDING BELOW THE PIPE BARREL	O.D./4 MIN. = 4"	O.D./4 MAX. = 8"

WATER SERVICE BEDDING
NOT TO SCALE

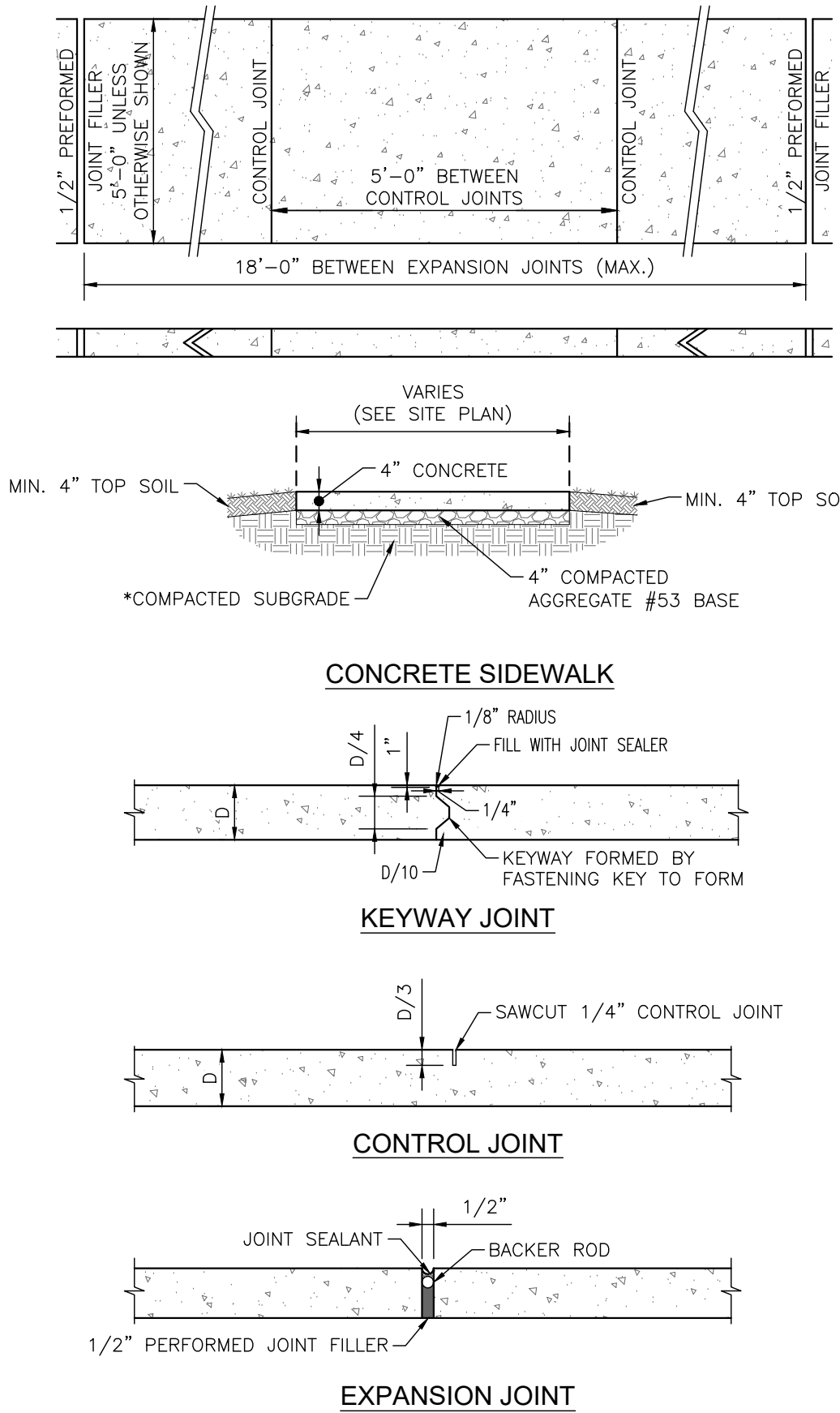


DOWNSPOUT DETAILS
NOT TO SCALE

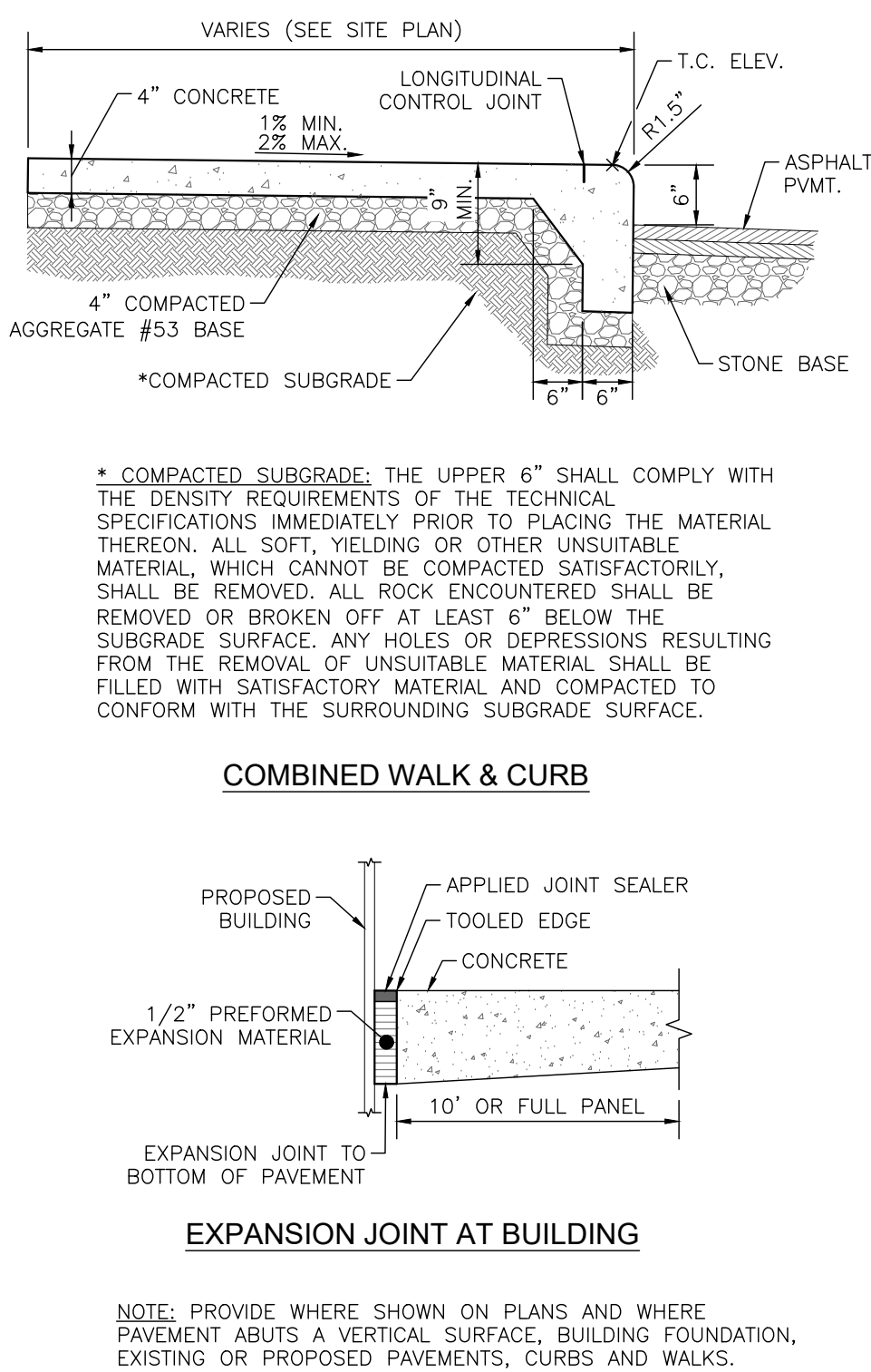


CONCRETE STRAIGHT CURB
NOT TO SCALE

DEPRESSED CURB
NOT TO SCALE



CONCRETE SIDEWALK DETAILS
NOT TO SCALE



EXPANSION JOINT AT BUILDING

NOTE: PROVIDE WHERE SHOWN ON PLANS AND WHERE PAVEMENT ABUTS A VERTICAL SURFACE, BUILDING FOUNDATION, EXISTING OR PROPOSED PAVEMENTS, CURBS AND WALKS.

entheos
ARCHITECTS
LEAD • CREATE • INSPIRE

802 Lord Street, Suite 200
Indianapolis, Indiana 46202

P (317)951-9590
mail@entheosarchitects.com
www.entheosarchitects.com



For Construction

Project No. 2024.012
Project Date August 31, 2026
Checked By ETW
Revision Date 2026/09/17 (Rev01 ADD-2)

St. Joseph University Catholic Parish
New Parish Hall
113 South 5th Street
Terre Haute, Indiana 47807

2024.012

CONSTRUCTION DETAILS
C700

