



2901 Wabash Ave
Addendum #1
January 24, 2025

The following items have been addressed in the below narrative as clarifications and/or additional information to the current set of construction documents.

Questions & Answers:

See attached Question & Answer Log

Drawing updates:

See attached ASI 01

Bid Date:

Wednesday February 5th - UNCHANGED

END OF ADDENDUM
ALL RECIPIENTS OF THIS ADDENDUM ARE TO CONTACT THE AUTHOR IMMEDIATELY WITH ANY COMMENTS
AND/OR QUESTIONS
REGARDING ITS CONTENTS

2901 Wabash

Date 16-Jan



Item	Question	Sheet	Spec	Answer
1	What is the address of the project. The drawings state 2801, the Obviously we are adding new VAV's off the old truck line, does there need to be a pre-balance and then a finalized test and balance			We will be using the address of 2901 for this project A pre-balance of the systems is not required. Air flow measurements at the air handlers are required. Final test and
3	Is AHU 5 new, it does not say existing but there is no schedule for one			All air handlers are existing.
4	Its hard to detect what all diffusers that are new, is it only the ones with a CFM next to them			Only the diffusers with tags are new. All others are existing.
5	Are CECO Metal frames acceptable			Yes CECO Metal Frames are acceptable
6	Are Oshkosh Wood Doors acceptable			Yes Oshkosh Wood Doors are acceptable
7	The existing hardware finish is a bright chrome finish. Were you wanting to stay with that look, or go with the brushed chrome finish? Also, the existing keying is the Best Peaks System. Are you interested in changing it to a more cost effect product. Do you want to stay with a removable core or a standard cylinder?			Hardware to match existing hardware finish of bright chrome finish. Keying to be standard small format removable core system
8	Drawings show power called out by circuit in the raised floor areas for power. My question was, if the drawing calls out in a particular area for example, circuit "L6-4", but what is actually there is circuit "L2-10", are we just to as-built this out?			Noted via As Builts is Acceptable
9	New panels H11 and H12 do not have a location on the drawings yet, can you clarify where these new panels will be installed? Sheet E603 shows "???" in the location field.			PANELS H11 & H12 ARE LOCATED IN THE 2ND FLOOR ELECTRICAL ROOMS. DRAWINGS WILL BE ISSUED BY ADDENDUM
10	There was a question regarding low voltage during the pre-bid, I did not hear the response. My question is: 1. For voice/data what are the electrical contractor's scope of work? Sheet E301D, Plan Note 18 references a communications installer. What is the communication installers scope of work?			Electrical Contractor responsible for Rough In only. All cabling and terminations by others
11	Light fixtures specified are Lithonia. Are equals acceptable?			YES - AS REVIEWED BY ENGINEER
12	Due to the existing electrical room nearest to the North main entrance being removed, that area is going to be refeed from nearby remaining Electrical Rooms 162-201-114. Due to the limited availability of the raised floor system (damage), who is to remove the floor in this area for re-feed of new circuits? This re-feed will also have to take place right away before walls are built as well.			Removal and installation of the floor panels to be done by each contractor for their respective work. In this case the Electrical Contractor is responsible to remove the floor panels for any new feeds
13	Do we need to infill raised flooring back in the shell space?			Yes
14	Where Bulkheads were attached to the grid and removed. Do we need to replace all grid that has existing screw holes in it?			No, that work will be done via T&M basis as needed
16	Specs call for wood blocking around all door and window openings in metal stud walls. Is this necessary for the hollow metal frames? Or required?			No blocking is required at HM Door frames
17	Specs call for g60 coating on the steel studs and track. Is this necessary, or is the typical g40 acceptable?			G40 Is acceptable
18	Abuse drywall is called out on high traffic areas. (Lobby, Waiting Rooms, etc.) What is considered high traffic areas, or etc.? How do I equally/fairly price this?			Disregard the note for high impact drywall. Standard drywall to be installed at all drywall locations
19	Are .018 mil studs acceptable? They should meet load ratings for most walls called out. What type is required on tile walls?			Yes
20	Is Eliminator track required on walls that have new ceilings at 9'? In those same rooms, can we just hang drywall 6" above the new ceiling? If so, can we just insulate to ceiling level? The wall types show the majority of the walls using eliminator track and hanging all the way up to the 12' existing ceiling. That doesn't seem necessary everywhere. Would be some cost savings.			Eliminator Track is not required where the ceiling on both sides of the wall is 9' such as at the office common walls. The studs can be fastened to the existing grid via standard track. The drywall shall be installed to 6" above finished ceiling on these common walls
21	Area B has no wall types listed on any of the existing walls. Are we to assume no drywall work in those areas? Or are we to plan on skimming and patching all holes in the existing drywall? After walking around, it appears to need some work.			The walls that were removed in the bathrooms will require new framing and drywall. Some areas where wall covering was removed will need to be skimmed and sanded ready for paint. These areas will be specified
22	Insulation is called for on top of ceiling tile 3' out in offices, enclaves, conf rooms, and toilet rooms. What type of insulation is required?			Standard sound batt
23	Access panels are called out in gypsum hard lids. Who is to provide/install them? If me, how many, size, and type?			Disregard - Any access panels will be by others

24	Can we get some clarification on sheets E201C and E201D? There are multiple light fixtures on these sheets missing notations.			See light fixture clarifications issued in ASI # 1
25	Is it the intent to keep the existing ceiling grid or are the existing light fixtures going to be removed and existing ceiling grid removed?			The existing grid is going to remain. Any new lights will be installed in the grid, any lights listed as relocated, will need to be removed and reinstalled at the new location



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 Suite, 100
 Indianapolis, IN 46240
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 FAX: 317-706-6464
www.cripe.biz

OWNER
 ARCHITECT
 INTERIOR DESIGNER
 CONTRACTOR
 FIELD
 OTHER

ARCHITECT'S SUPPLEMENTAL INSTRUCTIONS

PROJECT:

Indiana Department of Administration
 FSSA & DCS Offices
 2901 Wabash Ave
 Terre Haute, IN

OWNER:

Sylas Smith
 Wabash Ave LLC

TO CONTRACTOR:

Jacob Hellman
 Keymark Construction
 1033 Lafayette Ave
 Terre Haute, IN

ASI NO:

#1

DATE OF ISSUANCE:

January 24, 2025

ARCHITECT'S PROJECT NO:

0240101-10000

ARCHITECT:

Cripe A+E
 9339 Priority Way West Drive
 Suite 100
 Indianapolis, IN

REPORT BY:

Brianna Minnich

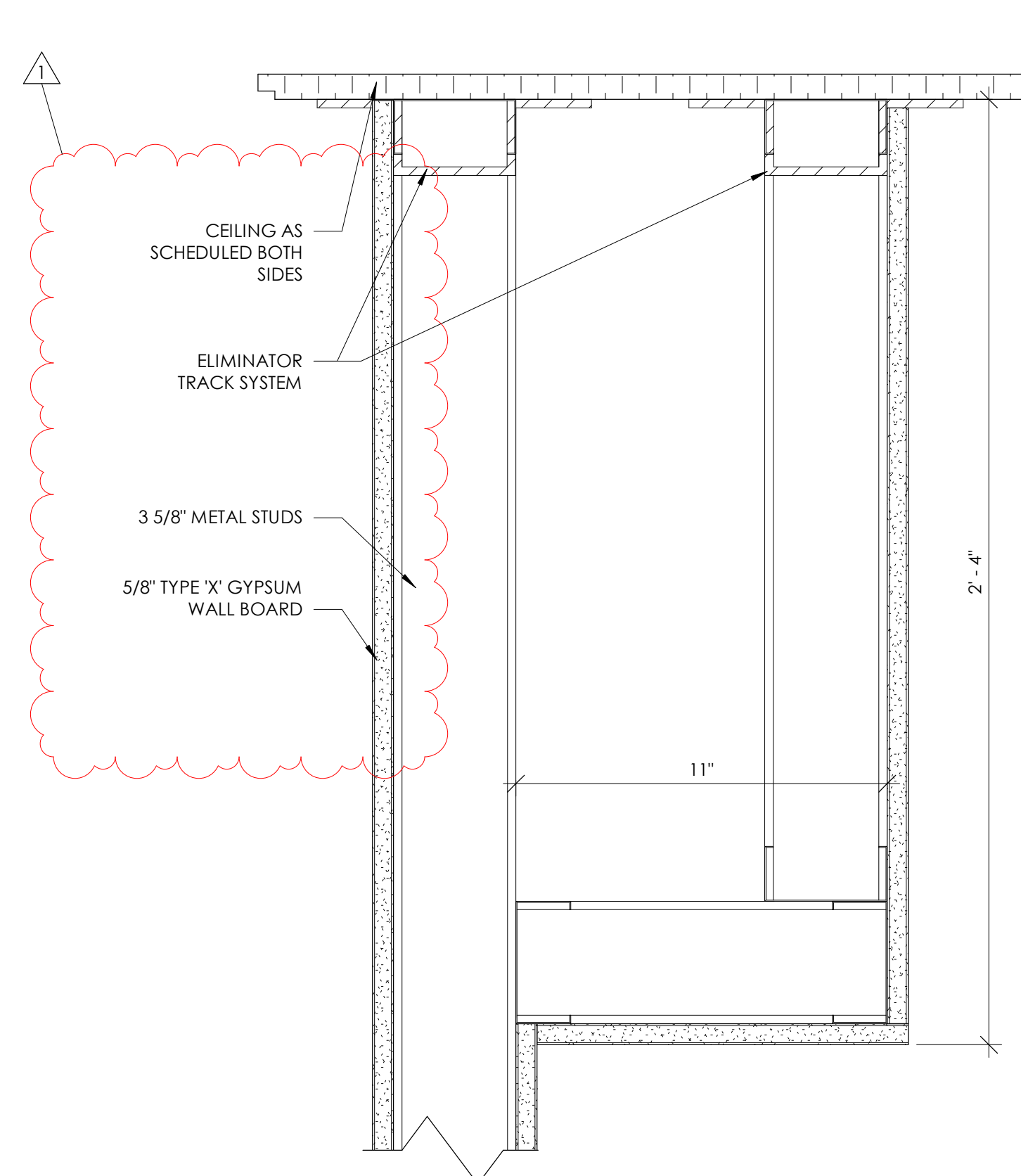
The Work shall be carried out in accordance with the following supplemental instructions issued in accordance with the Contract Documents without change in Contract Sum or Contract Time. Proceeding with the Work in accordance with these instructions indicates your acknowledgment that there will be no change in the Contract Sum or Contract Time.

Description:

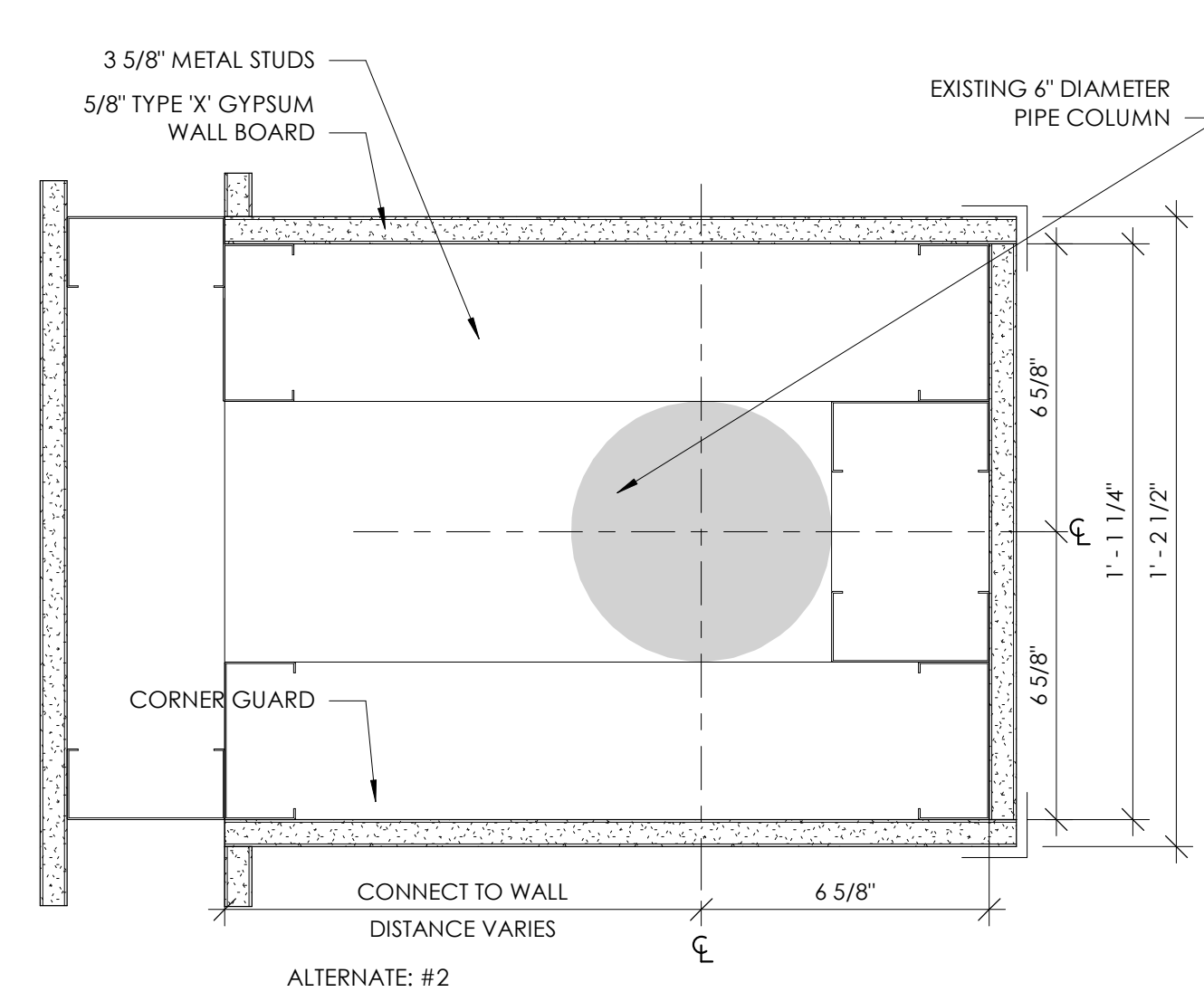
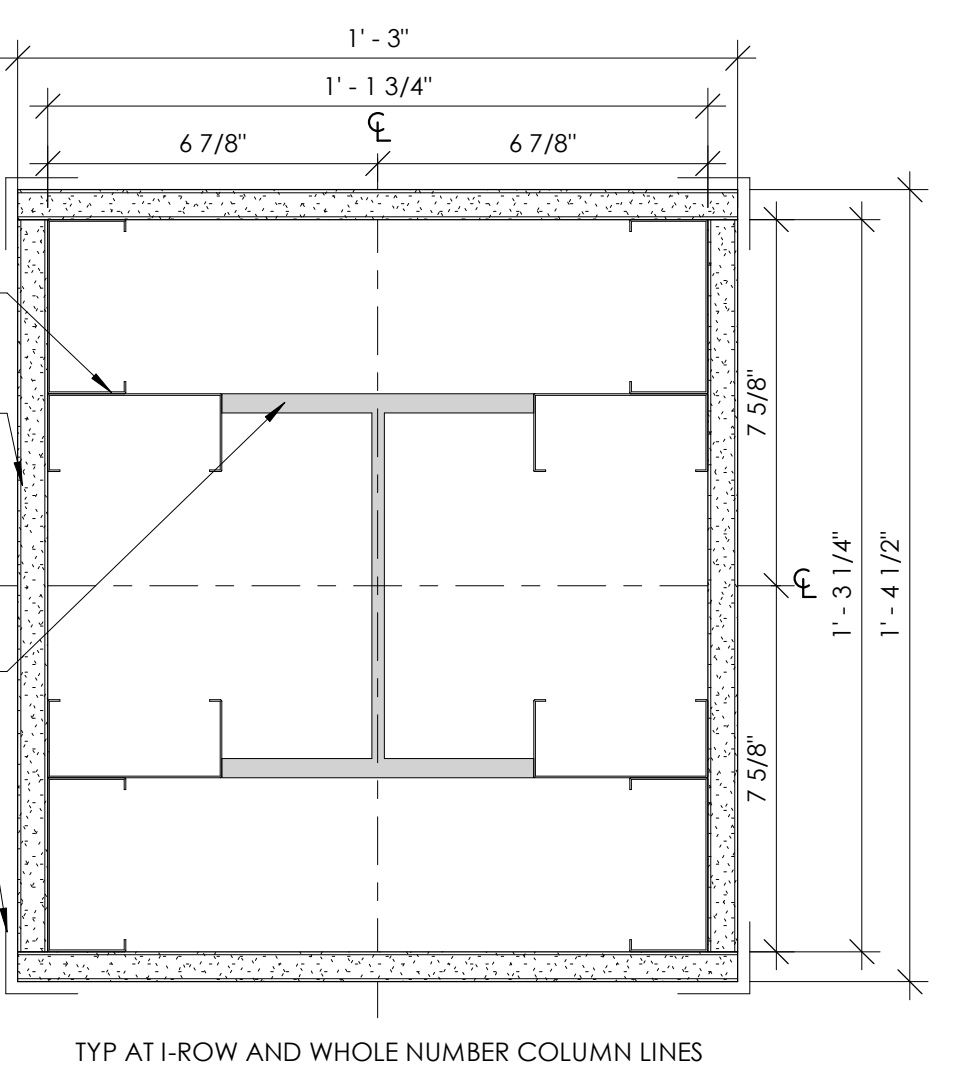
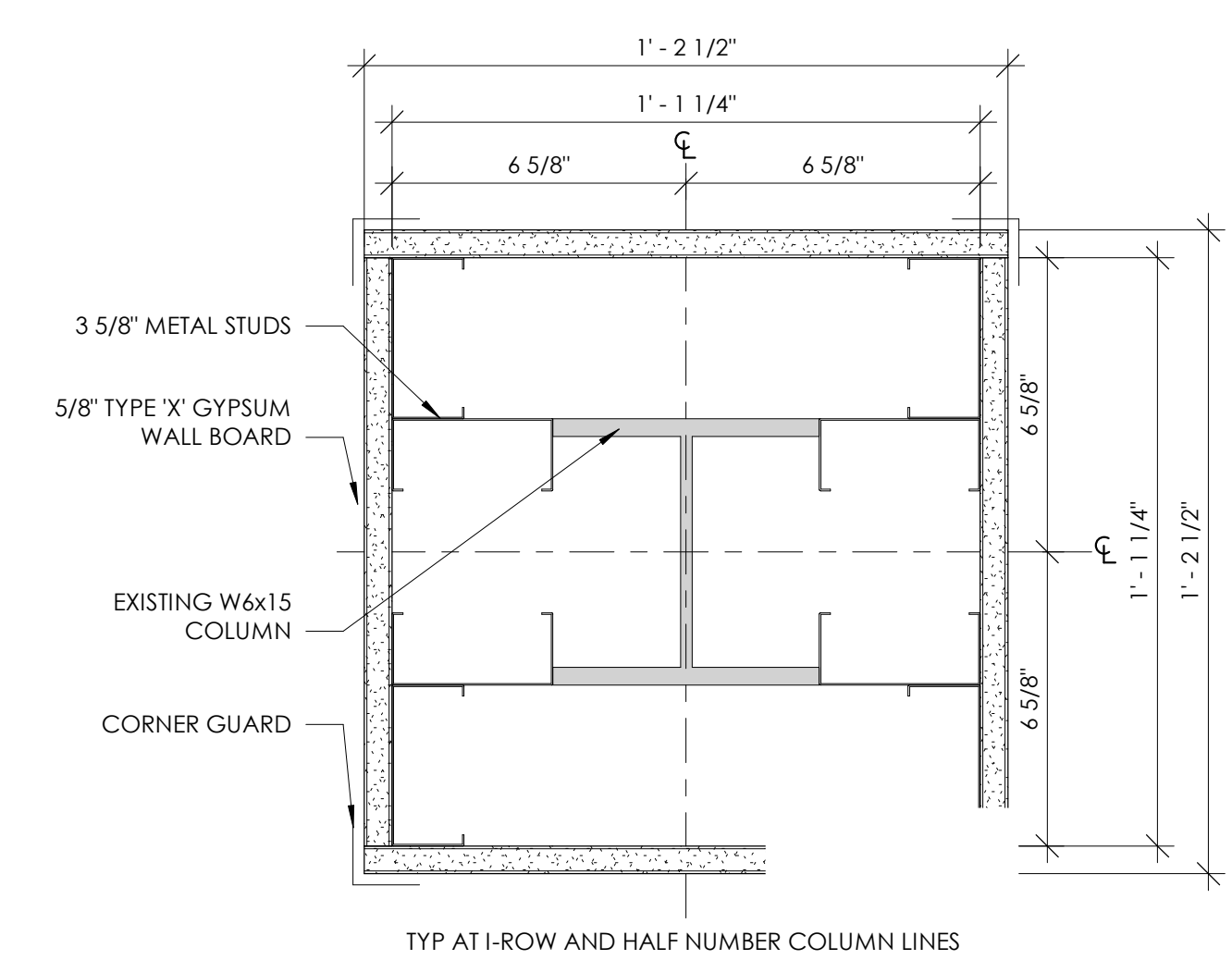
- Changes to the layout and lighting of DFR's Lobby (137) and Service Counter (238)
- Changes to doors in Lobby (115)
- Changes to Restroom Accessories in Mens (202), Womens (203), Womens (233), Mens (234)
- Changes to Lowered Ceiling and Lighting in Open Office (185) and Break Room (186)
- Changes to Casework in Breakroom (186), Reception (192), Lobby (115), Lobby (118), Open Office (185)
- Corner Guard Notations
- Notations for Sound Attenuation Batt above all Offices, Conference and Training Rooms
- Additional Misc Notations

Attached Sheets:

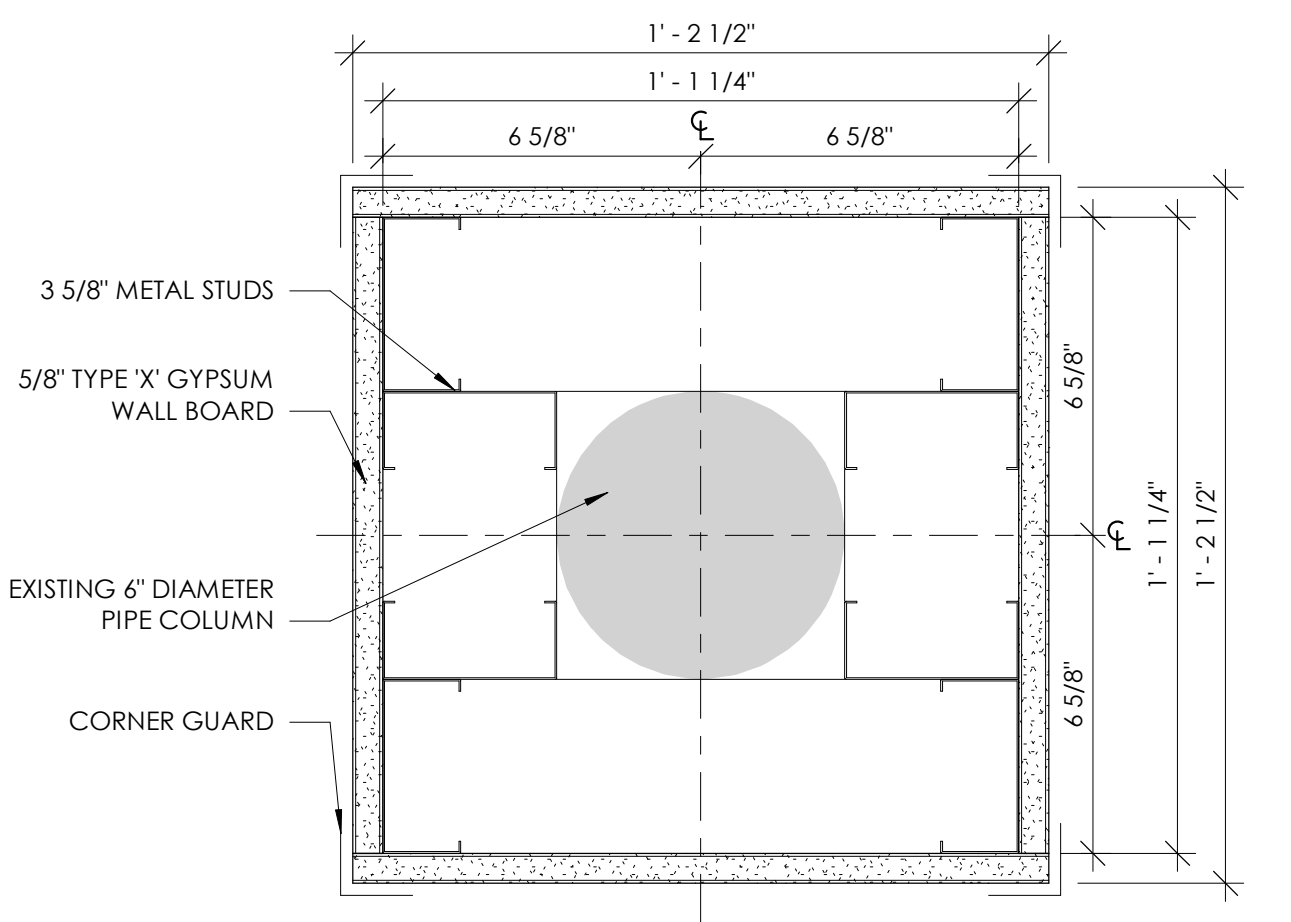
- A002 - INTERIOR WALL SYSTEM TYPES - METAL STUDS
- A003 - LIFE SAFETY PLAN
- A012 - ENLARGED DEMOLITION PLAN - AREAS A&C
- A013 - ENLARGED DEMOLITION PLAN - AREAS B&D
- A015 - ENLARGED REFLECTED CEILING DEMOLITION PLAN - AREA C
- A016 - ENLARGED REFLECTED CEILING DEMOLITION PLAN - AREA D
- A101 - FLOOR PLANS
- A122 - ENLARGED FLOOR PLANS - AREA D
- A123 - ENLARGED FLOOR PLANS - AREAS A&B
- A124 - ENLARGED FLOOR PLANS
- A201 - REFLECTED CEILING PLAN
- A221 - ENLARGED REFLECTED CEILING PLAN - AREA C
- A222 - ENLARGED REFLECTED CEILING PLAN - AREA D
- A223 - ENLARGED REFLECTED CEILING PLAN - AREAS A&B
- A701 - DOOR SCHEDULE AND DETAILS
- A702 - WINDOW SCHEDULE AND DETAILS
- A801 - INTERIOR ELEVATIONS
- A802 - INTERIOR ELEVATIONS
- A811 - CASEWORK ELEVATIONS AND DETAILS
- A812 - CASEWORK ELEVATIONS AND DETAILS
- A902 - ENLARGED INTERIOR FINISH PLAN - AREA C
- A903 - ENLARGED INTERIOR FINISH PLAN - AREA D



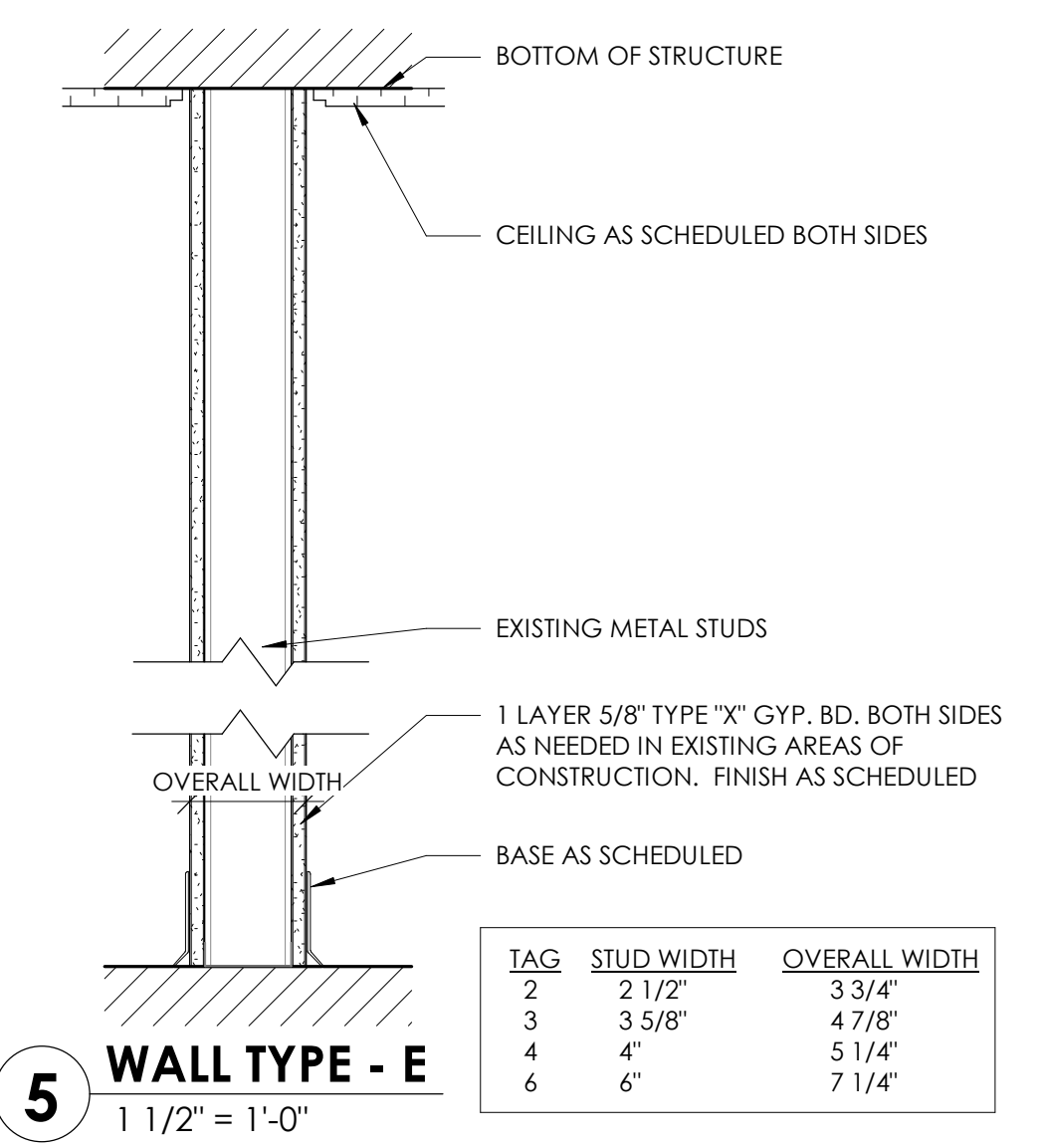
8 BULKHEAD DETAIL
3" = 1'-0"



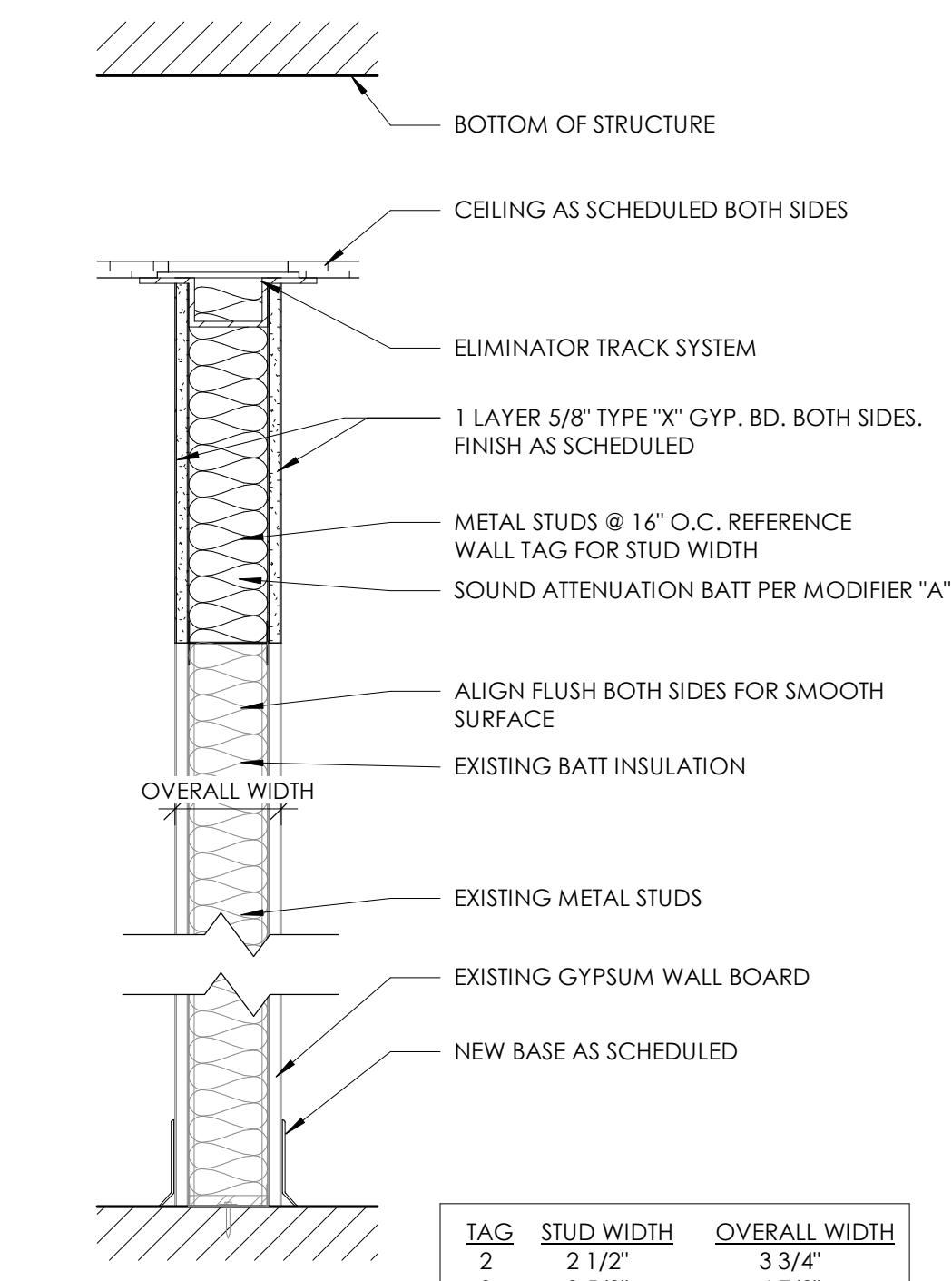
10 Alternate Column Wraps
3" = 1'-0"



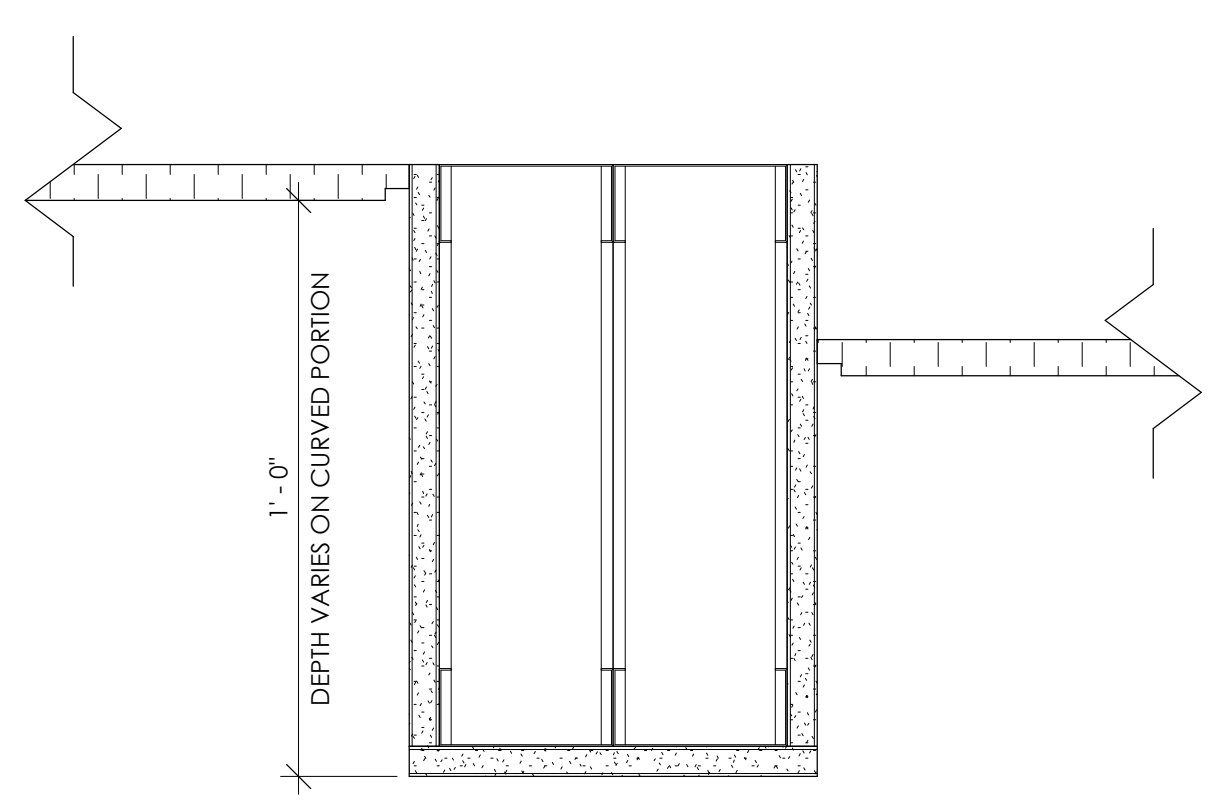
9 Typical Column Wrap
3" = 1'-0"



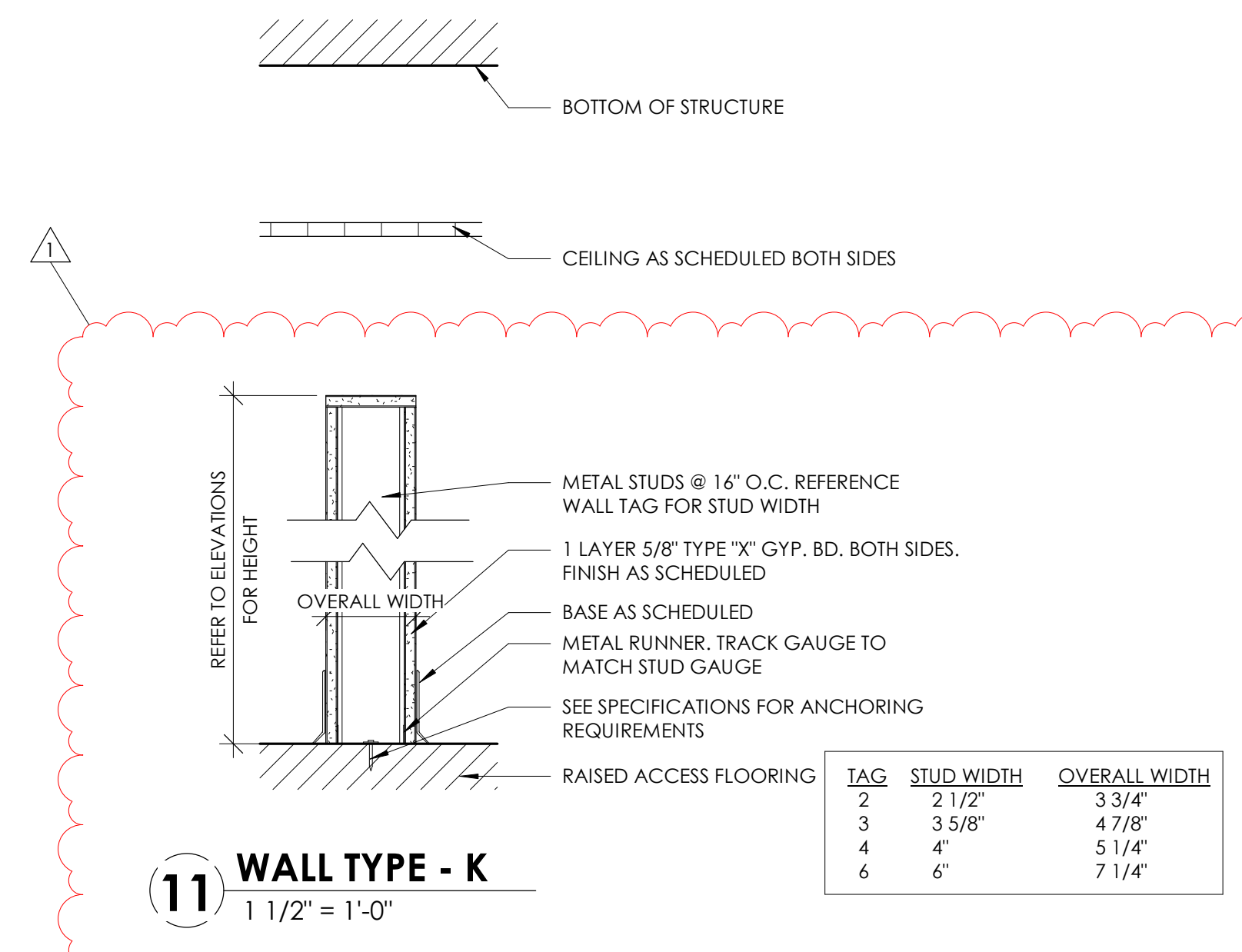
5 WALL TYPE - E
1 1/2" = 1'-0"



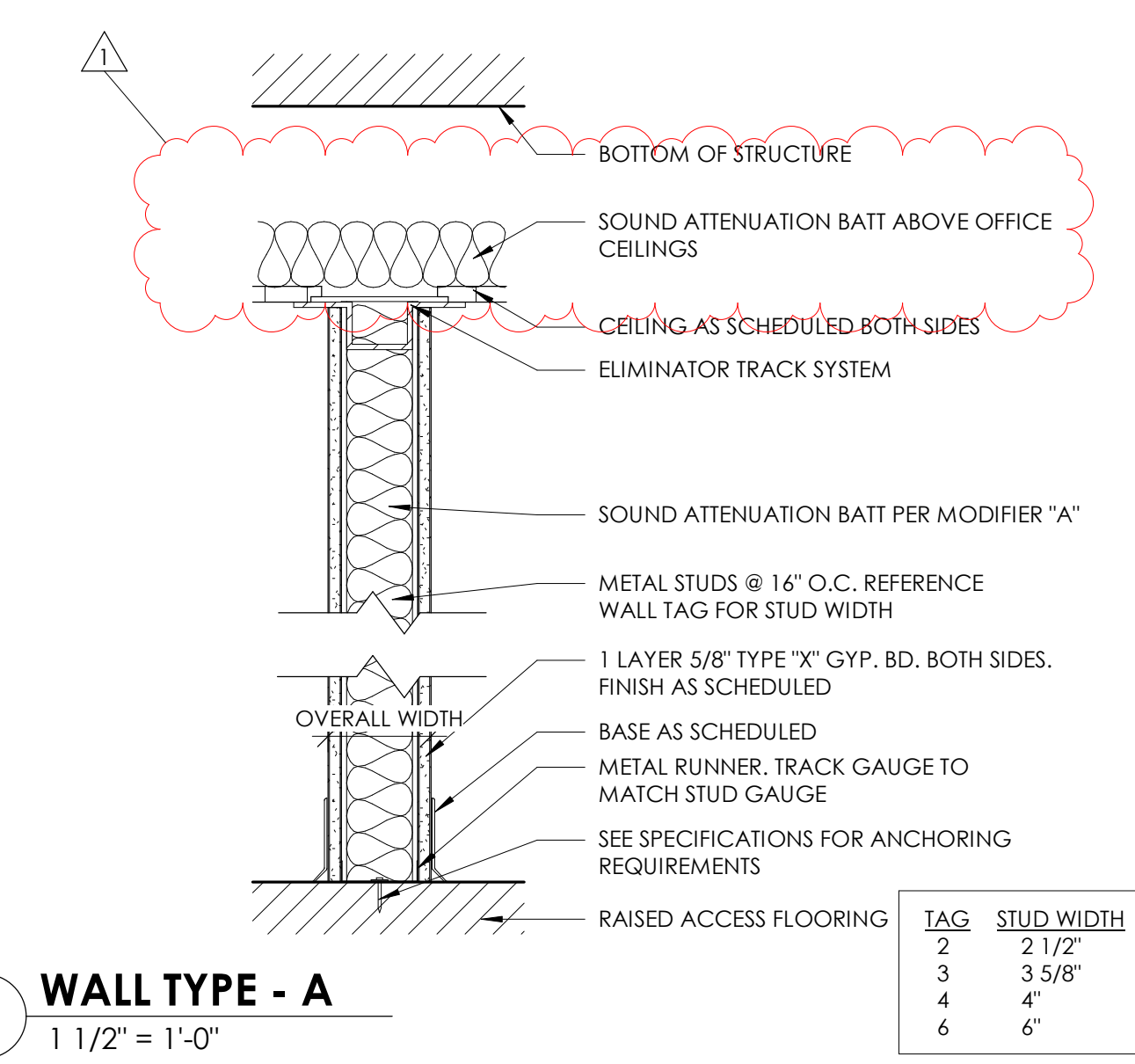
6 WALL TYPE - J
1 1/2" = 1'-0"



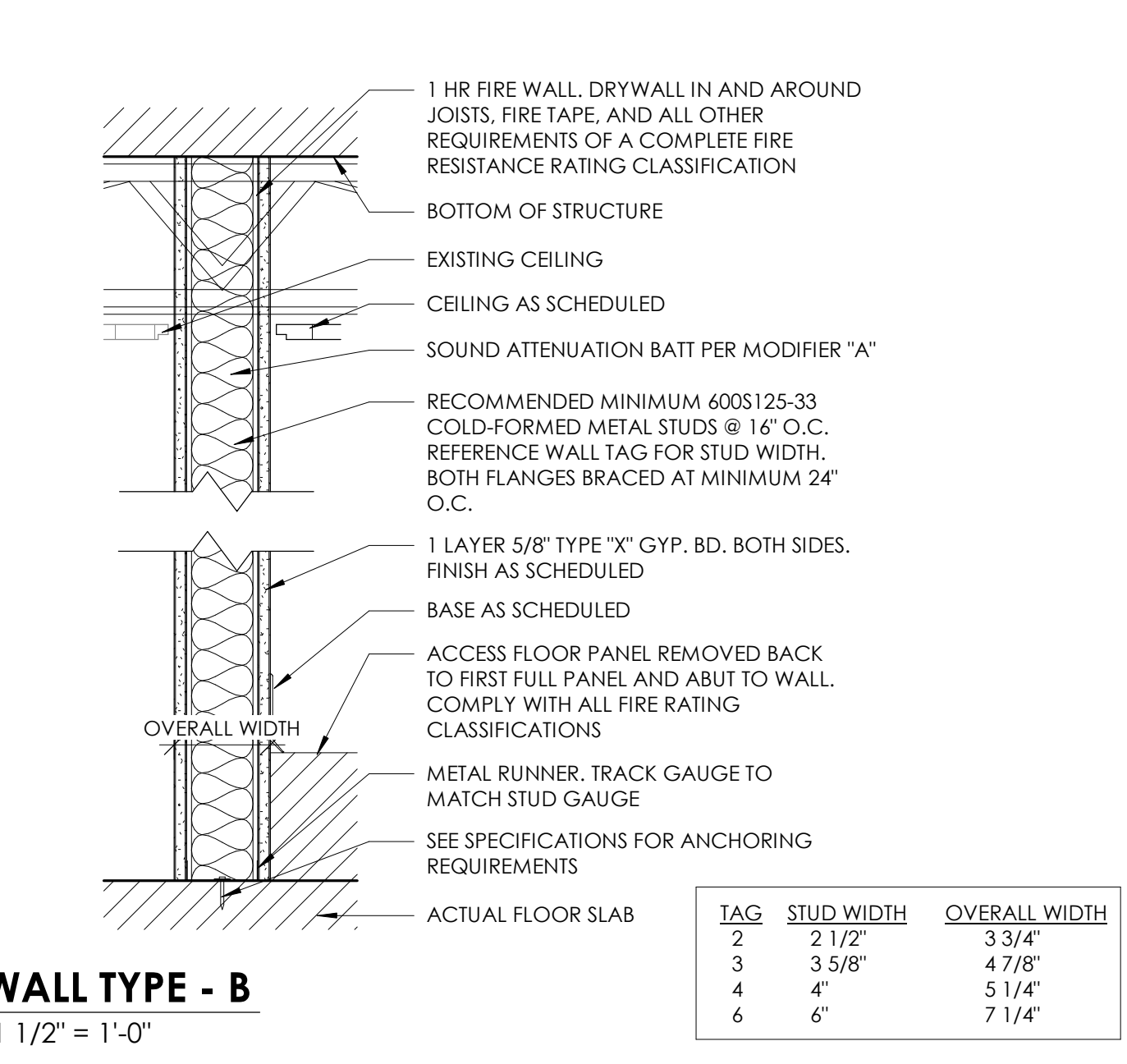
7 Bulkhead Detail
3" = 1'-0"



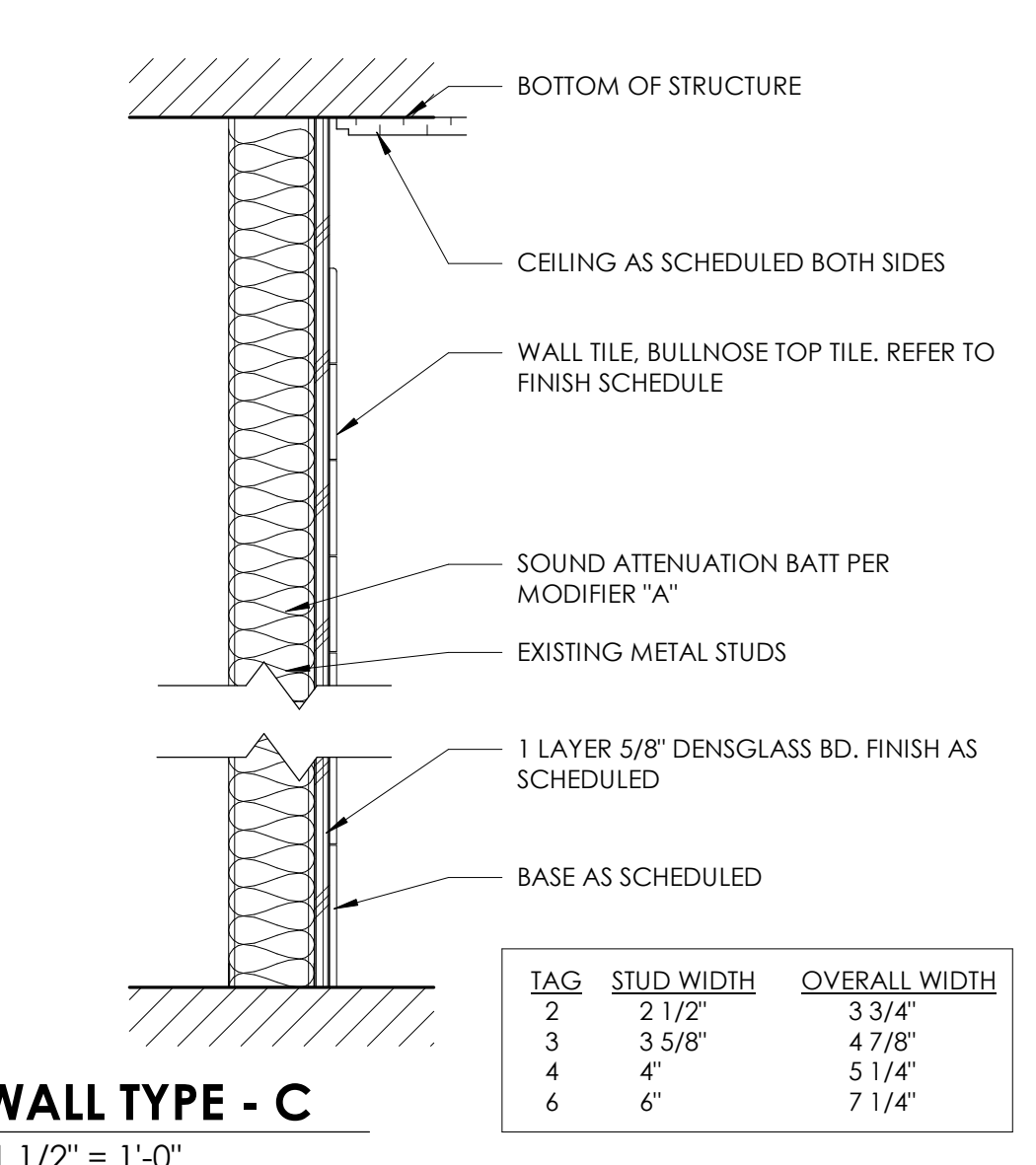
11 WALL TYPE - K
1 1/2" = 1'-0"



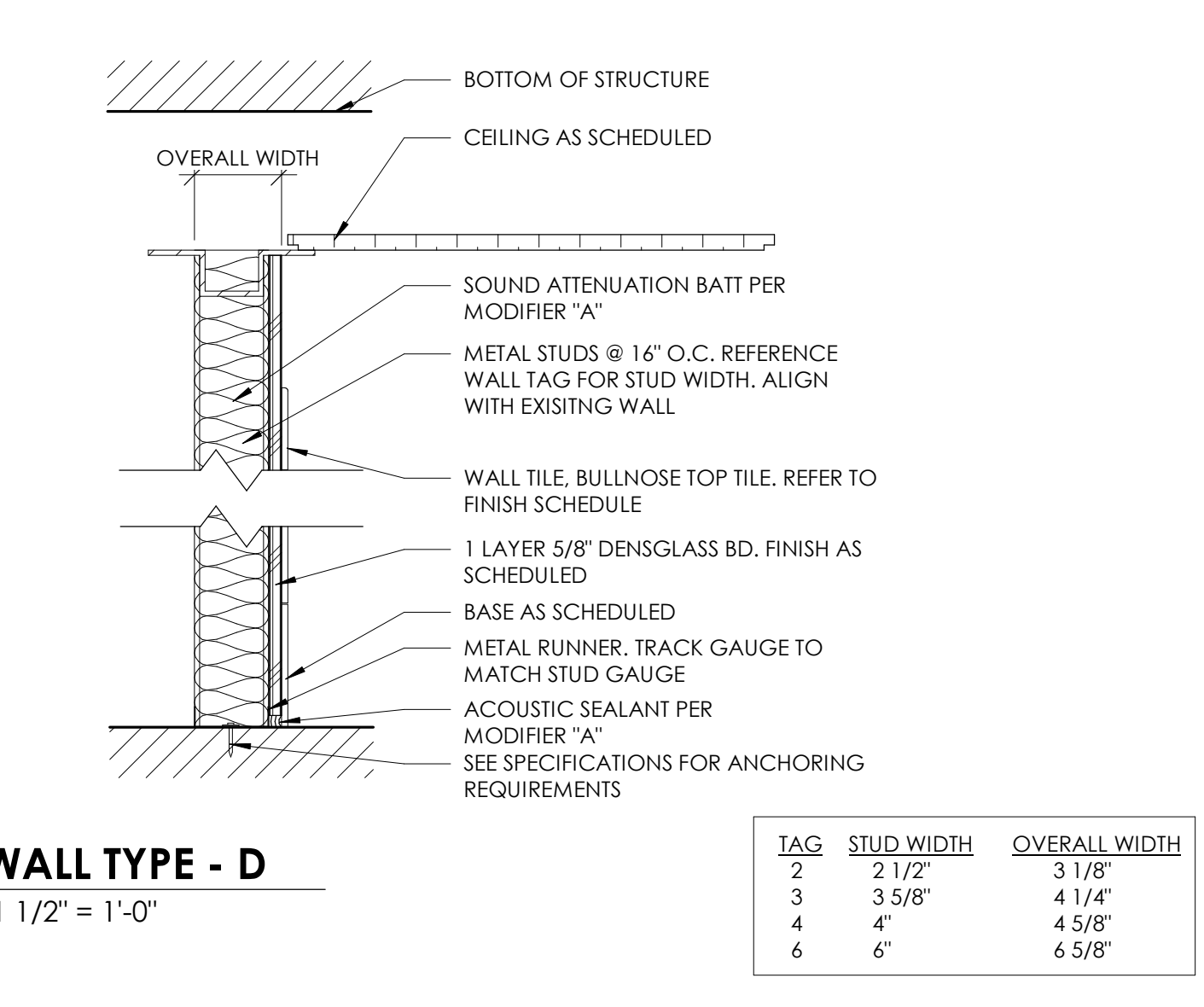
1 WALL TYPE - A
1 1/2" = 1'-0"



2 WALL TYPE - B
1 1/2" = 1'-0"



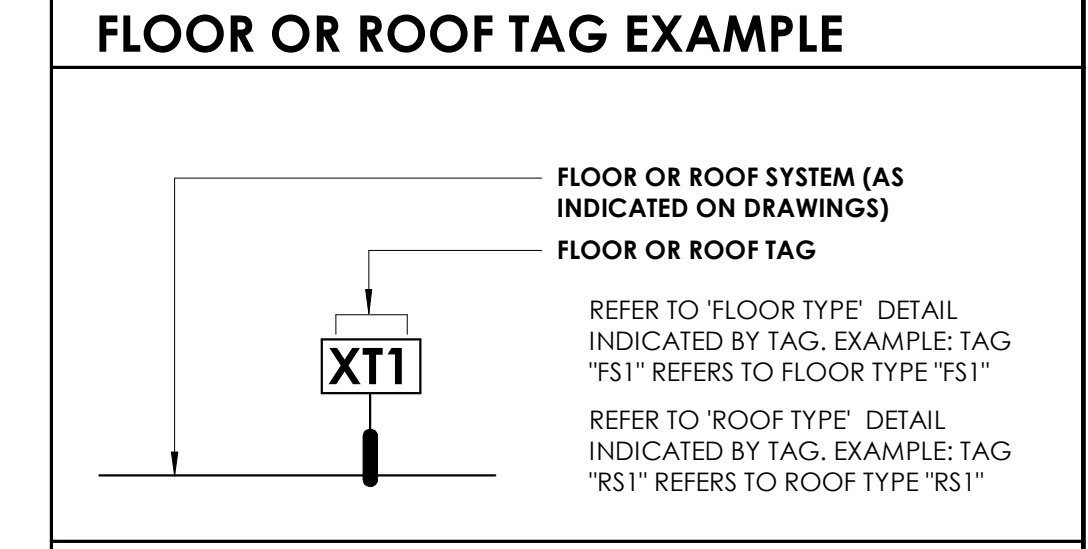
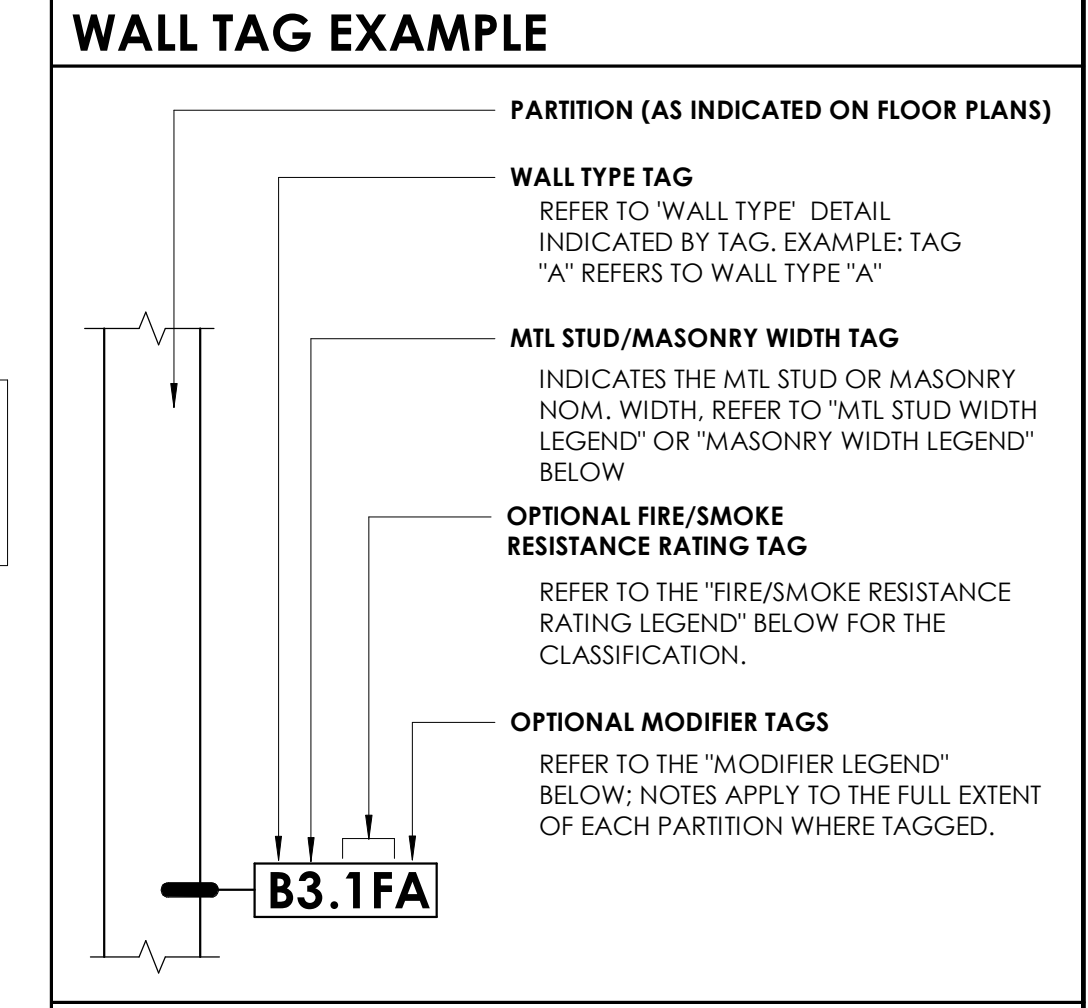
3 WALL TYPE - C
1 1/2" = 1'-0"



4 WALL TYPE - D
1 1/2" = 1'-0"

WALL TYPE GENERAL NOTES:

- WHERE GYPSUM BOARD OR PLASTER ABUTS MASONRY CONSTRUCTION, PROVIDE CONTINUOUS "J"-MOLD AND SEALANT AT JOINT.
- PROVIDE CONTROL JOINTS IN MASONRY WALLS AS PER INDUSTRY PRACTICE AND/OR AS INDICATED. COORDINATE WITH ARCHITECT.
- ALL BRACING AND UNBRACED LENGTHS TO BE DESIGNED AND BASED ON SSMA (STEEL STUD MANUFACTURERS ASSOCIATION) PRODUCT TECHNICAL GUIDE. ALL INTERIOR WALLS TO BE TYPE "A" UNLESS NOTED OTHERWISE.
- MOISTURE RESISTANT, PAPERLESS, COATED FIBERGLASS MAT WATER RESISTANT GYPSUM WALL BOARD TO BE UTILIZED ON THE OUTER LAYER OF ALL PARTITIONS THAT ARE SCHEDULED TO RECEIVE TILE OR ANY MATERIAL THAT IS SECURE WITH ADHESIVES OR THINSET MORTARS.
- PROVIDE 1/2" CEMENT BOARD AT ALL SHOWER AND TUB LOCATIONS. EXTEND A MINIMUM OF 12 INCHES BEYOND WET AREA AS DEFINED BY SHOWER GLASS, CURTAIN, OR TUB EDGE.
- MOISTURE RESISTANT GWB TO BE USED AT ALL STAIR SHAFTS, ELEVATOR SHAFTS, HVAC SHAFTS, PLUMBING CHASE, EXTERIOR WALLS, JANITOR CLOSETS, MECHANICAL ROOM INCLUDING BULKHEADS, AND OTHER AREAS WHERE MOISTURE COULD OCCUR AND AS SPECIFICALLY SCHEDULED AND/OR NOTED.



METAL STUD WIDTH LEGEND

TAG	STUD WIDTH	TAG	STUD WIDTH
0	7/8" FURRING CHANNEL	4	4"
1	5/8"	5	5"
2	2-1/2"	6	6"
3	3-5/8"		

MASONRY WIDTH LEGEND

TAG	MASONRY WIDTH	ALL CMU PARTITION TYPES SHALL COMPLY WITH REINFORCING DETAILS AS INDICATED ON THE STRUCTURAL DRAWINGS
04	3-5/8"	
06	5-5/8"	
08	7-5/8"	
10	9-5/8"	
12	11-5/8"	

FIRE/SMOKE RESISTANCE RATING LEGEND

THE COMPLETE ASSEMBLY OF EACH PARTITION WITH A FIRE/SMOKE RATING TAG SHALL COMPLY WITH ALL REQUIREMENTS OF THE FIRE-RESISTANCE/SMOKE BARRIER RATING CLASSIFICATION INCLUDING HEAD OF WALL, BOTTOM OF WALL, AND ALL PENETRATIONS:

TAG	FIRE RATING CLASSIFICATION
1F	1 HOUR FIRE RESISTANCE
2F	2 HOUR FIRE RESISTANCE
3F	3 HOUR FIRE RESISTANCE
4F	4 HOUR FIRE RESISTANCE

TAG	FIRE/SMOKE RATING CLASSIFICATION
0S	NON-RATED SMOKE PARTITION
1S	1 HOUR FIRE-RESISTANT SMOKE BARRIER
2S	2 HOUR FIRE-RESISTANT SMOKE BARRIER
3S	3 HOUR FIRE-RESISTANT SMOKE BARRIER
4S	4 HOUR FIRE-RESISTANT SMOKE BARRIER

MODIFIER LEGEND

THE FOLLOWING NOTES APPLY TO THE WALL TYPE, WHERE "PARTITION MODIFIER" CHARACTER(S) ARE SHOWN ON THE TAG:

TAG DESCRIPTION

A PROVIDE SOUND ATTENUATION BATT: 2" THK AT 2-1/2" STUD; 3" THK AT 3-5/8", 4", 5" AND 6" STUDS. UNO, PROVIDE ACOUSTIC SEALANT AT FLOOR AND DECK ABOVE. TYPICAL AT PRIVATE OFFICES, TRAINING ROOMS, CONFERENCE ROOMS, AND RESTROOMS

B PROVIDE IMPACT/ABUSE RESISTANT GWB IN COMMON AREAS TYPICAL OF HIGH PUBLIC TRAFFIC (LOBBY'S, WAITING AREAS, ETC.) SOME INSTANCES TO PROVIDE ON BOTH SIDES IF BOTH SIDES ARE HIGH PUBLIC TRAFFIC.

C PROVIDE ELIMINATOR TRACK AT CEILING

REVISION SCHEDULE
REVISION DATE
REVISION NUMBER
FOR CONSTRUCTION

CONSULTANTS

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CREPE INCORPORATED
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Cripe
Solutions by Design Since 1937

INTERIOR WALL SYSTEM TYPES - METAL STUDS

INDIANA DEPARTMENT OF ADMINISTRATION
FSA & DCS
2801 WABASH AVENUE, TERRE HAUTE, IN 47803

DESIGNED BY
REGISTERED ARCHITECT
No. IN12300112
STATE OF INDIANA
ARCHITECT

BMM
Checked by
KJ
Daily Monitor
KJ
As indicated

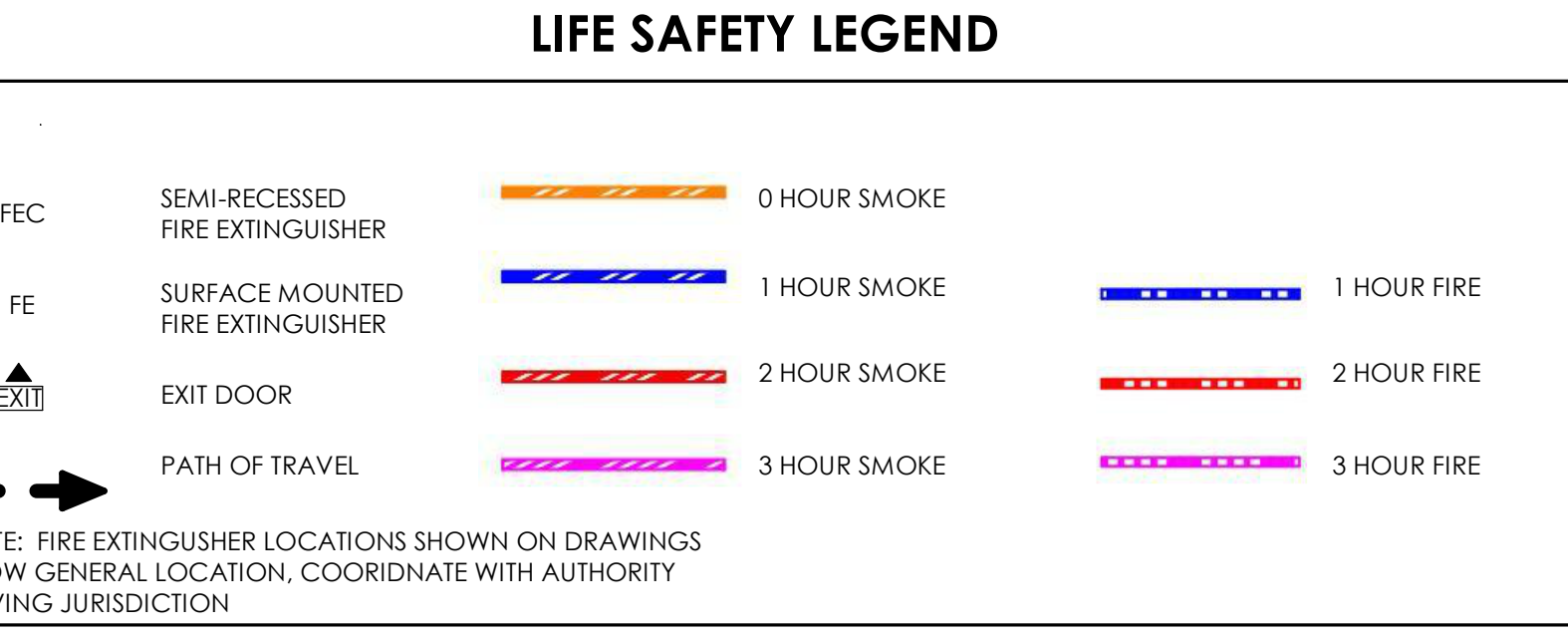
A002
Date
2024-12-20
No. 0240101-10000

OCCUPANCY SCHEDULE					
NAME	NUMBER	AREA	AREA PER OCCUPANT	CLASSIFICATION	OCCUPANT LOAD
TRAINING	102	503 SF	20 SF	Training	26
TRAINING	103	503 SF	20 SF	Training	26
CONFERENCE	104	360 SF	15 SF	Assembly w/o fixed seats - Unconcentrated	25
VESTIBULE	105	150 SF	100 SF	Business Areas	2
LOBBY	106	817 SF	100 SF	Business Areas	9
WALK-IN SERVICE	107	80 SF	100 SF	Business Areas	1
MENS	108	246 SF	100 SF	Business Areas	3
WOMENS	109	235 SF	100 SF	Business Areas	3
OFFICE	110	152 SF	100 SF	Business Areas	2
OFFICE	111	141 SF	100 SF	Business Areas	2
OFFICE	112	141 SF	100 SF	Business Areas	2
OPEN OFFICE	113	5693 SF	100 SF	Business Areas	57
ELEC.	114	96 SF	300 SF	Accessory storage areas, mechanical equipment room	1
LOBBY	115	1517 SF	100 SF	Business Areas	16
TRAINING	116	622 SF	20 SF	Training	32
CONFERENCE	117	559 SF	15 SF	Assembly w/o fixed seats - Unconcentrated	38
LOBBY	118	1494 SF	100 SF	Business Areas	15
KITCHENETTE	119	144 SF	200 SF	Kitchens, Commercial	1
EATING	119A	60 SF	15 SF	Assembly w/o fixed seats - Unconcentrated	4
UNISEX RESTROOM	120	67 SF	100 SF	Business Areas	1
DRUG TESTING	121	73 SF	100 SF	Business Areas	1
RECEPTION	122	240 SF	100 SF	Business Areas	3
RECEPTION	123	50 SF	300 SF	Accessory storage areas, mechanical equipment room	1
CORRIDOR	124	380 SF	100 SF	Business Areas	4
VISITATION	125	277 SF	100 SF	Business Areas	3
OBSERVATION	126	92 SF	100 SF	Business Areas	1
VISITATION	127	256 SF	100 SF	Business Areas	3
STORAGE	128	155 SF	300 SF	Accessory storage areas, mechanical equipment room	1
CONFERENCE	129	201 SF	15 SF	Assembly w/o fixed seats - Unconcentrated	14
INTERVIEW	130	119 SF	100 SF	Business Areas	2
INTERVIEW	131	123 SF	100 SF	Business Areas	2
ELEC.	133	96 SF	300 SF	Accessory storage areas, mechanical equipment room	1
JANITOR	134	40 SF	300 SF	Accessory storage areas, mechanical equipment room	1
TRAINING	135	571 SF	20 SF	Training	29
OFFICE	136	106 SF	100 SF	Business Areas	2
LOBBY	137	2412 SF	100 SF	Business Areas	25
CONFERENCE	138	426 SF	15 SF	Assembly w/o fixed seats - Unconcentrated	29
CONFERENCE	139	428 SF	15 SF	Assembly w/o fixed seats - Unconcentrated	29
OFFICE	140	142 SF	100 SF	Business Areas	2
OFFICE	141	142 SF	100 SF	Business Areas	2
OPEN OFFICE	142	4137 SF	100 SF	Business Areas	42
OFFICE	143	143 SF	100 SF	Business Areas	2
OFFICE	144	143 SF	100 SF	Business Areas	2
OFFICE	145	143 SF	100 SF	Business Areas	2
RESOURCE	146	95 SF	100 SF	Business Areas	1
OFFICE	147	119 SF	100 SF	Business Areas	2
OFFICE	148	120 SF	100 SF	Business Areas	2
OFFICE	149	128 SF	100 SF	Business Areas	2
OFFICE	150	119 SF	100 SF	Business Areas	2
OFFICE	151	119 SF	100 SF	Business Areas	2
OFFICE	152	119 SF	100 SF	Business Areas	2
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OFFICE	155	119 SF	100 SF	Business Areas	2
OFFICE	156	119 SF	100 SF	Business Areas	2
OFFICE	157	119 SF	100 SF	Business Areas	2
OFFICE	158	119 SF	100 SF	Business Areas	2
OFFICE	159	392 SF	100 SF	Business Areas	4
CONFERENCE	160	259 SF	15 SF	Assembly w/o fixed seats - Unconcentrated	18
OFFICE	161	175 SF	100 SF	Business Areas	2
ELEC.	162	96 SF	300 SF	Accessory storage areas, mechanical equipment room	1
CONFERENCE	163	187 SF	15 SF	Assembly w/o fixed seats - Unconcentrated	13
OFFICE	164	115 SF	100 SF	Business Areas	2
OFFICE	165	115 SF	100 SF	Business Areas	2

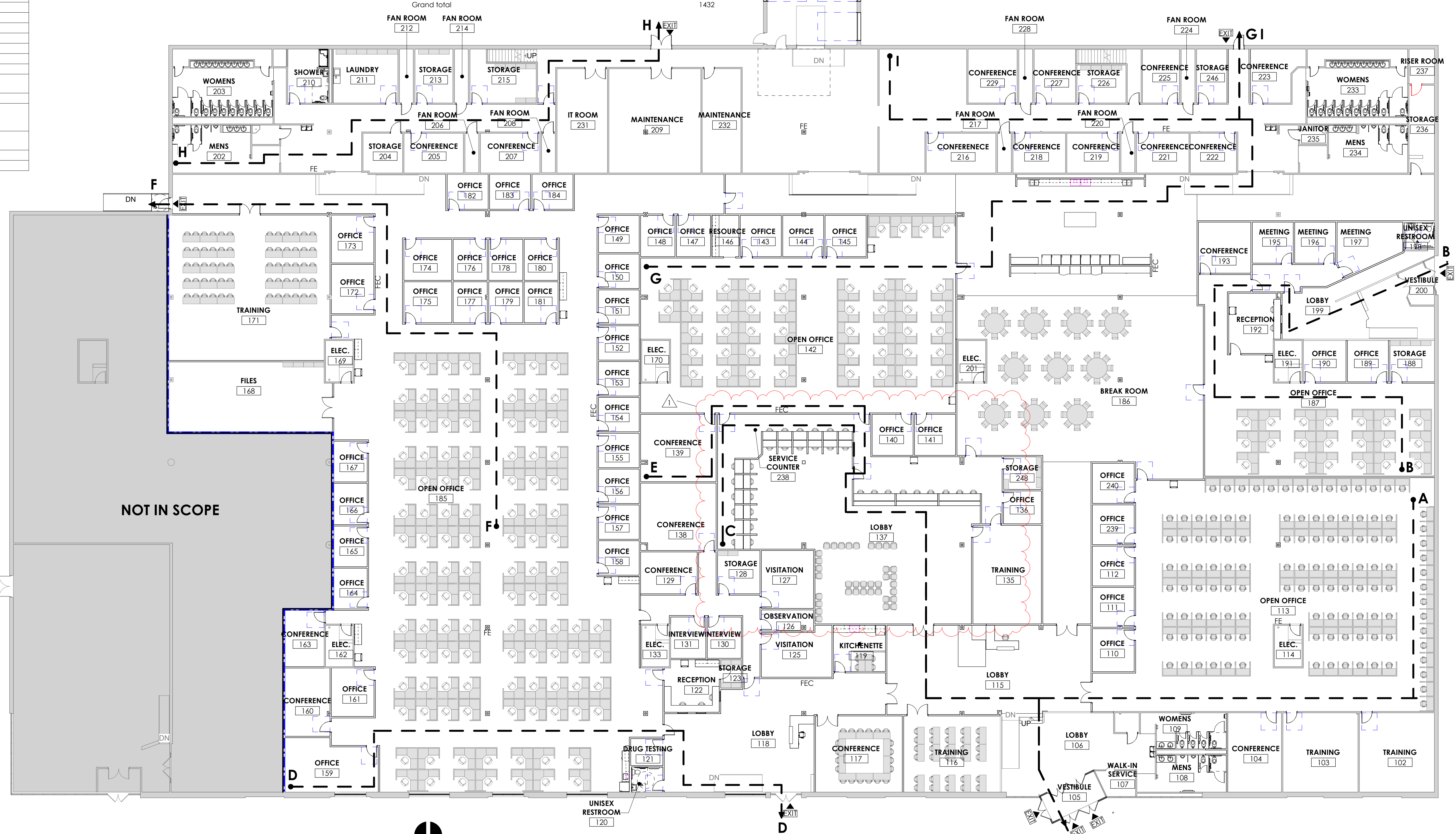
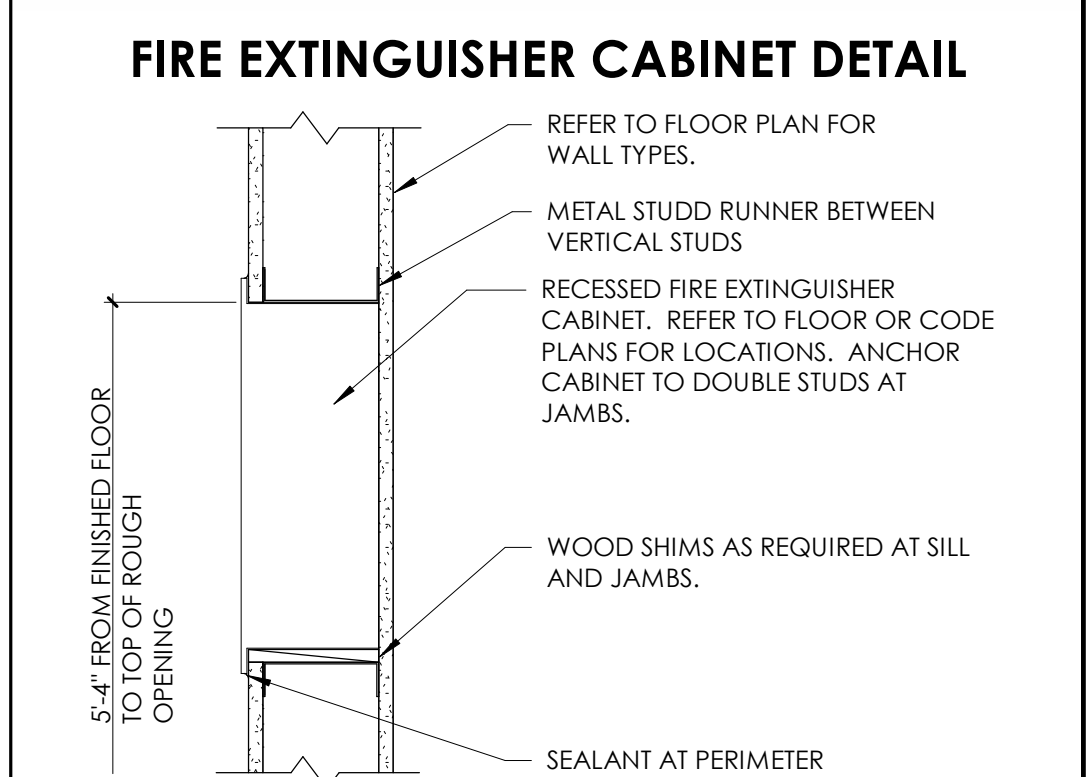
OCCUPANCY SCHEDULE					
NAME	NUMBER	AREA	AREA PER OCCUPANT	CLASSIFICATION	OCCUPANT LOAD
OFFICE	166	117 SF	100 SF	Business Areas	2
OFFICE	167	115 SF	100 SF	Business Areas	2
FILES	168	951 SF	300 SF	Accessory storage areas, mechanical equipment room	4
ELEC.	169	96 SF	300 SF	Accessory storage areas, mechanical equipment room	1
ELEC.	170	96 SF	300 SF	Accessory storage areas, mechanical equipment room	1
TRAINING	171	1968 SF	20 SF	Training	99
OFFICE	172	177 SF	100 SF	Business Areas	2
OFFICE	173	172 SF	100 SF	Business Areas	2
OFFICE	174	166 SF	100 SF	Business Areas	2
OFFICE	175	166 SF	100 SF	Business Areas	2
OFFICE	176	118 SF	100 SF	Business Areas	2
OFFICE	177	118 SF	100 SF	Business Areas	2
OFFICE	178	118 SF	100 SF	Business Areas	2
OFFICE	179	118 SF	100 SF	Business Areas	2
OFFICE	180	117 SF	100 SF	Business Areas	2
OFFICE	181	117 SF	100 SF	Business Areas	2
OFFICE	182	121 SF	100 SF	Business Areas	2
OFFICE	183	121 SF	100 SF	Business Areas	2
OFFICE	184	121 SF	100 SF	Business Areas	2
OPEN OFFICE	185	12291 SF	100 SF	Business Areas	123
BREAK ROOM	186	3388 SF	15 SF	Assembly w/o fixed seats - Unconcentrated	226
KITCHENETTE	186B	2365 SF	200 SF	Kitchens, Commercial	12
CORRIDOR	186C	660 SF	100 SF	Business Areas	7
CORRIDOR	186D	958 SF	100 SF	Business Areas	10
CORRIDOR	186E	781 SF	100 SF	Business Areas	8
OPEN OFFICE	187	2093 SF	100 SF	Business Areas	21
STORAGE	188	156 SF	300 SF	Accessory storage areas, mechanical equipment room	1
OFFICE	189	143 SF	100 SF	Business Areas	2
OFFICE	190	149 SF	100 SF	Business Areas	2
ELEC.	191	96 SF	300 SF	Accessory storage areas, mechanical equipment room	1
RECEPTION	192	253 SF	100 SF	Business Areas	3
CONFERENCE	193	226 SF	15 SF	Assembly w/o fixed seats - Unconcentrated	16
CORRIDOR	194	180 SF	100 SF	Business Areas	2
CORRIDOR	195	142 SF	15 SF	Assembly w/o fixed seats - Unconcentrated	10
MEETING	196	142 SF	15 SF	Assembly w/o fixed seats - Unconcentrated	10
MEETING	197	241 SF	15 SF	Assembly w/o fixed seats - Unconcentrated	17
UNISEX RESTROOM	198	64 SF	100 SF	Business Areas	1
LOBBY	199	743 SF	100 SF	Business Areas	8
VESTIBULE	200	91 SF	100 SF	Business Areas	1
ELEC.	201	96 SF	300 SF	Accessory storage areas, mechanical equipment room	1
MENS	202	380 SF	100 SF	Business Areas	4
WOMENS	203	449 SF	100 SF	Business Areas	5
STORAGE	204	132 SF	300 SF	Accessory storage areas, mechanical equipment room	1
CONFERENCE	205	199 SF	15 SF	Assembly w/o fixed seats - Unconcentrated	14
FAN ROOM	206	46 SF	0 SF	(none)	
CONFERENCE	207	199 SF	100 SF	Business Areas	2
FAN ROOM	208	46 SF	(none)		

OCCUPANCY SCHEDULE					
NAME	NUMBER	AREA	AREA PER OCCUPANT	CLASSIFICATION	OCCUPANT LOAD
MAINTENANCE	209	810 SF	300 SF	Accessory storage areas, mechanical equipment room	3
SHOWER	210	183 SF	100 SF	Business Areas	2
LAUNDRY	211	295 SF	100 SF	Business Areas	3
FAN ROOM	212	63 SF	(none)		
STORAGE	213	172 SF	300 SF	Accessory storage areas, mechanical equipment room	1
FAN ROOM	214	63 SF	(none)		
STORAGE	215	240 SF	300 SF	Accessory storage areas, mechanical equipment room	1
CONFERENCE	216	234 SF	15 SF	Assembly w/o fixed seats - Unconcentrated	16
FAN ROOM	217	46 SF	(none)		
CONFERENCE	218	176 SF	15 SF	Assembly w/o fixed seats - Unconcentrated	12
CONFERENCE	219	176 SF	15 SF	Assembly w/o fixed seats - Unconcentrated	12
FAN ROOM	220	46 SF	(none)		
CONFERENCE	221	176 SF	15 SF	Assembly w/o fixed seats - Unconcentrated	12
CONFERENCE	222	155 SF	15 SF	Assembly w/o fixed seats - Unconcentrated	11
CONFERENCE	223	208 SF	15 SF	Assembly w/o fixed seats - Unconcentrated	14
FAN ROOM	224	63 SF	(none)		
CONFERENCE	225	168 SF	15 SF	Assembly w/o fixed seats - Unconcentrated	12
STORAGE	226	157 SF	300 SF	Accessory storage areas, mechanical equipment room	1
CONFERENCE	227	188 SF	15 SF	Assembly w/o fixed seats - Unconcentrated	13
FAN ROOM	228	63 SF	(none)		
CONFERENCE	229	223 SF	15 SF	Assembly w/o fixed seats - Unconcentrated	15
MECHANICAL	230	12064 SF	300 SF	(none)	41
IT ROOM	231	445 SF	300 SF	Accessory storage areas, mechanical equipment room	2
MAINTENANCE	232	341 SF	300 SF	Accessory storage areas, mechanical equipment room	2
WOMENS	233	450 SF	100 SF	Business Areas	5
MENS	234	385 SF	100 SF	Business Areas	4
JANITOR	235	45 SF	300 SF	Accessory storage areas, mechanical equipment room	1
STORAGE	236	189 SF	300 SF	Accessory storage areas, mechanical equipment room	1
RISER ROOM	237	76 SF	300 SF	(none)	12
SERVICE COUNTER	238	1196 SF	100 SF	Business Areas	12
OFFICE	239	141 SF	100 SF	Business Areas	2
OFFICE	240	142 SF	100 SF	Business Areas	2
PASS-THRU	243	1834 SF	100 SF	Business Areas	19
CORRIDOR	245	2719 SF	100 SF	Business Areas	28
STORAGE	246	138 SF	300 SF	Accessory storage areas, mechanical equipment room	1
JANITOR	247	45 SF	300 SF	Accessory storage areas, mechanical equipment room	1
STORAGE	248	105 SF	300 SF	Accessory storage areas, mechanical equipment room	1
LOADING DOCK	255	768 SF	500 SF	Warehouses	2

EGRESS TRAVEL LENGTH	
PATH	TOTAL TRAVEL DISTANCE
A	209' - 4 1/8"
B	190' - 0 5/8"
C	251' - 11 1/8"
D	181' - 11 5/8"
E	267' - 4"
F	192' - 11 1/2"
G	246' - 6 5/8"
H	179' - 8 1/4"
I	144' - 4 1/8"



Building Code Summary	
Applicable Codes:	2014 Indiana Building Code (IBC)* General Administrative Rules, 2nd Edition (GAR) 2014 Indiana Fire Code 2009 Indiana Electrical Code 2014 Indiana Mechanical Code 2012 Indiana Plumbing Code 2010 Indiana Energy Conservation Code *Code referenced unless otherwise noted
Scope of Project:	The project involves a renovation of the existing building previously used as a furniture store constructed in the 1970s to be used as a call center. The building is 1-story with a mechanical mezzanine. [Rule 7, Section 12, GAR]
Applicability of Codes to the Project:	Alterations are permitted to an existing building without affecting the entire existing building or portions of the existing building unaffected by the proposed scope of renovation to be brought into compliance with current codes. Buildings constructed before the April 30, 1998, effective date of the 1998 Indiana Building Code (IBC) that complied with the rules for a "Previous Occupancy Classification" may be used for any of the occupancy classifications listed under the "1998 IBC Occupancy Classification" and are not considered as a change in occupancy. [Rule 4, Section 11, GAR] The "Previous Occupancy Classification" for this building is B-2. The "1998 IBC Occupancy Classification" for B-2 is B, F-1, M, S-1, and S-2 Occupancies. [Rule 4, Section 11, GAR]
Occupancy Classifications:	The requirements in this code summary apply only to new construction. Offices and rooms or spaces used for assembly purposes that are less than 750 square feet in area or have a calculated occupant load less than 49-B Occupancy [304.1, 303.1.2, 1 & 2] Training room, breakroom and rooms or spaces used for assembly purposes not classified as a B Occupancy [303.4] Storage: S-1 Occupancy [311.2]
Construction Type:	Type IIB Construction, existing [Table 601]
Building Elements - Fire Resistive Requirements:	Structural frame, walls, floor and roof assemblies are permitted to be combustible, non-rated construction. [Table 601]
Occupancy Separations:	Occupancy separations not required between B and S-1 Occupancies based upon the building being constructed prior to 1998. Assembly occupancies are accessory use based upon not being more than 10% the floor area. A 1-hour occupancy separation will be provided between this tenant and the adjacent future tenant, not in this scope, to provide maximum flexibility of the future tenant space. [608.2, 508.4]
Incidental Uses:	Laundry rooms over 100 square feet are required to be provided with a non-rated separation consisting of walls terminating at the deck, with self-closing doors. [Table 509]
Occupancy Load Factors:	Business: 100 sq. ft./occ. Unconcentrated Assembly Use: 15 sq. ft./occ. Training Rooms: 20 sq. ft./occ. Storage: 300 sq. ft./occ. [Table 1004.1.2]
Doors:	Door width must be a minimum of 32 inches clear and 48 inches maximum. [1008.1.1] Egress doors must swing in the direction of egress when serving 50 or more occupants. Egress doors are required to be side-hinged swinging type, except for office and storage areas with an occupant load of less than 10. Manually operated horizontal sliding doors permitted from rooms with an occupant load that does not exceed 10. [1008.1.2] Panic hardware required for doors that latch in a means of egress from an A Occupancy with an occupant load of 50 or more. [1008.1.10]
Corridors:	Corridors are not required to be fire-rated, based upon automatic sprinkler protection throughout. [Table 1018.1] Corridors must be a minimum of 44 inches in clear and unobstructed width. Corridors serving an occupant load less than 50 must not be less than 36 inches in clear and unobstructed width. [Table 1018.2] Dead end corridors must not exceed 20 feet where serving A Occupancies and 50 feet where serving B and S Occupancies if the corridor is required to have 2 exits based upon occupant load. The dead end is not limited where the length is less than 2.5 times the least width of the dead end corridor. [1018.4]
Means of Egress:	2 means of egress are required from a room or space when the occupant load exceeds 49 for A-3 and B Occupancies and 29 for S Occupancies or where the common path of travel exceeds 75 feet for A-3 Occupancies and 100 feet for B and S Occupancies. [Table 1015.1, Table 1014.3]
Exit Travel Distance:	The maximum travel distance to an exit is 250 feet for A-3 and S-1 Occupancy areas and 300 feet for B Occupancy areas. [Table 1016.2]
Number of Exits:	2 exits required for an occupant load of 1,500 3 exits required for an occupant load of 501-1,000 4 exits required for an occupant load over 1,000 [1021.2] An exit capacity of 0.15 in/occupant must be provided for horizontal travel such as doors, ramps, etc. An exit capacity of 0.2 in/occupant must be provided for stairs. Multiple means of egress must be used such that the loss of any one means of egress must not reduce the available capacity to less than 50 percent of the required capacity. [1005.5, 1005.5]
Arrangement of Exits:	When two exits or exit access doorways are required, they must be separated by at least one-third of the overall diagonal dimension of the area served. [1015.2.1]
Emergency and Egress Lighting:	Exit signs required to indicate the direction of egress travel for rooms and areas that require more than one exit access. [1011.1] Illumination must be provided for required means of egress as well as the exit discharge that leads to a public way at all times the building space served by the means of egress is occupied. [1006.1]
Automatic Sprinklers:	The existing building sprinklered throughout.
Fire Alarm System:	The existing building has a fire alarm system.
Smoke Detectors:	Smoke detectors must be installed in new HVAC systems with a design capacity greater than 2,000 cfm, in the supply air duct. [606.2, IMC]



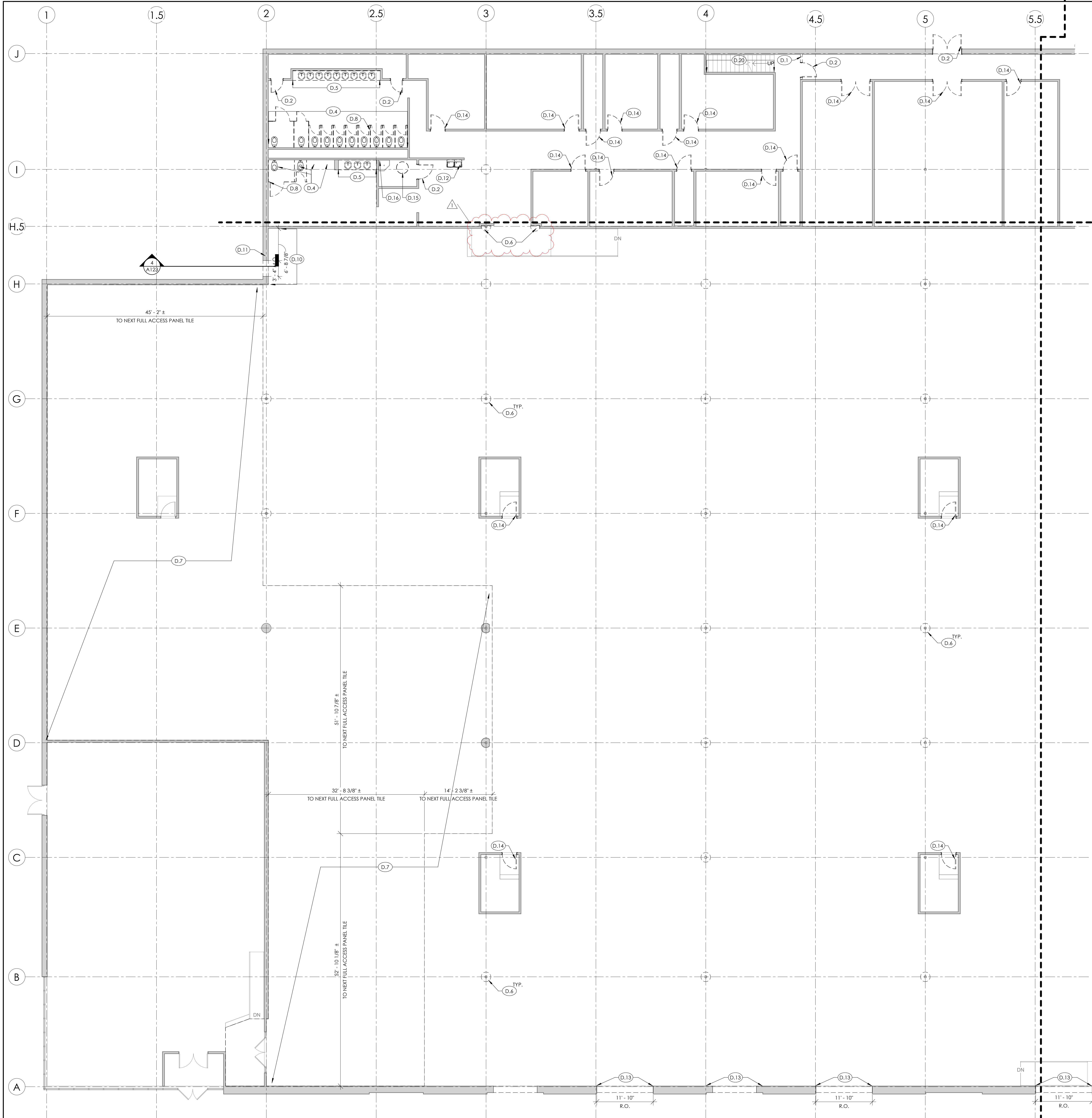
1 - ARCHITECTURAL LIFE SAFETY PLAN - FIRST FLOOR
1/16" = 1'-0"

REVISION SHEET
 REVISION NUMBER: 2024.01.01
 REVISION DATE: 2024.01.01
 FOR COMMENTS:

CONSULTANTS
 9339 PRIORITY WAY WEST DRIVE
 INDIANAPOLIS, INDIANA 46240
 Phone (317) 844-6777
 E-mail: crip@cripe.biz
 WWW.CRIPE.COM
 CONSTRUCTION SERVICES
 INTERIOR DESIGN
 EXTERIOR ARCHITECTURE
 REAL ESTATE SERVICES
 SOLUTIONS BY DESIGN SINCE 1937

LIFE SAFETY PLAN
 INDIANA DEPARTMENT OF ADMINISTRATION
 FSS & DCS
 2801 WABASH AVENUE, TERRE HAUTE, IN 47803

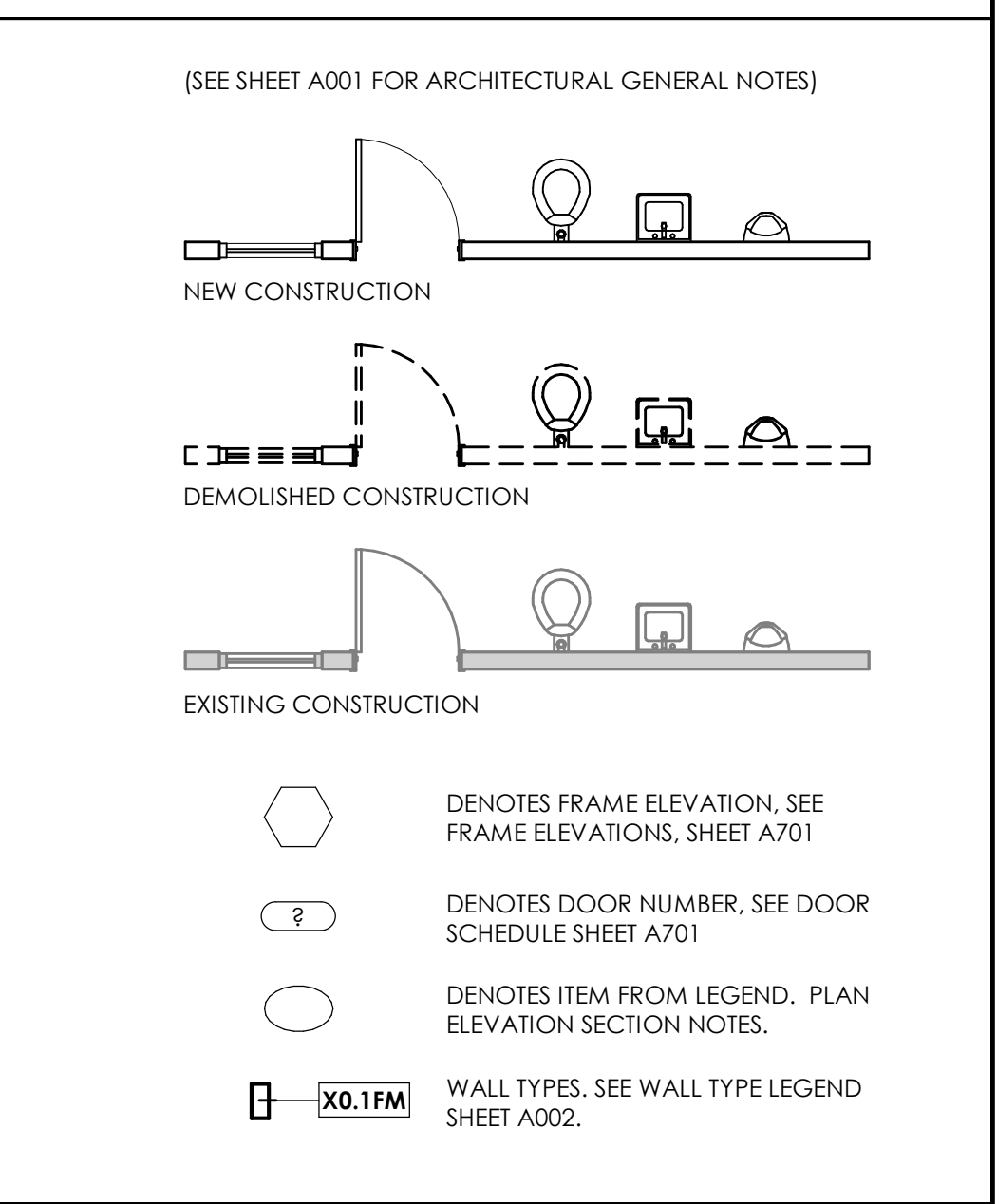
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 STATE OF INDIANA
 ARCHITECT
 No. AR12300112
 BMM
 KJ
 KJ
 As indicated
 A003
 2024-12-20
 0240101-10000



DEMOLITION GENERAL NOTES

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- B. RELOCATED ITEMS SHALL BE CLEANED AND PLACED IN STORAGE. PER OWNER'S DIRECTIONS UNTIL ITEMS ARE READY TO BE REINSTALLED. IF ITEM IS DAMAGED DURING DEMOLITION OR RELOCATION IT SHALL BE REPAIRED OR REPLACED WITH NEW ITEM AS APPROVED BY OWNER.
- C. DEMOLITION SHALL BE DONE WITHOUT DAMAGE TO EXISTING CONSTRUCTION TO REMAIN. WHERE SUCH DAMAGE OCCURS PATCH, REPAIR, OR RESTORE WALLS, FLOORS, CEILINGS, ETC TO MATCH EXISTING. PROVIDE SHORING, BRACING, OR SUPPORT AS REQUIRED TO PREVENT MOVEMENT OR SETTLEMENT OF EXISTING CONSTRUCTION.
- D. REMOVE ALL EXISTING CONSTRUCTION, ITEMS AND FINISHES MADE OBSOLETE BY OR IN CONFLICT WITH NEW CONSTRUCTION. COORDINATE WITH ARCHITECTURAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF DEMOLITION ITEMS WITH THE OTHER TRADES PRIOR TO THE START OF DEMOLITION WORK.
- E. ALL CONTRACTORS ARE RESPONSIBLE FOR REMOVAL AND REPLACEMENT OF CEILING GRID AND/OR TILES IN ANY AREA WHERE THEY NEED ACCESS AND THE EXISTING CEILING IS TO REMAIN, UNLESS OTHERWISE NOTED. CONTRACTOR SHALL REPLACE ANY CEILING TILES OR GRID DAMAGED IN PROCESS.
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- G. CONTRACTOR MUST FIELD VERIFY ALL AREAS AND/OR WORK TO BE DEMOLISHED PRIOR TO BEGINNING WORK. CONTRACTOR MUST COORDINATE WITH ARCHITECT ANY DIFFERENCES BETWEEN FIELD VERIFIED CONDITIONS AND/OR CONSTRUCTION, AND WHAT IS SHOWN ON DEMOLITION DRAWINGS.
- H. WHERE EXISTING WALLS, BULKHEADS, OR FINISHES ARE REMOVED OR PARTIALLY DEMOLISHED, EACH TRADE SHALL BE RESPONSIBLE FOR PATCHING OR REFINISHING OF EXISTING CONSTRUCTION REQUIRED BY THAT TRADES WORK ON THIS PROJECT. THIS WORK MUST BE DONE IN A MANNER CAPABLE OF EXCEPTING NEW FINISHES.
- I. THE REMOVAL AND INSTALLATION OF LOOSE FURNITURE AND MOVABLE EQUIPMENT SHALL BE PERFORMED BY THE OWNER (U.N.O.).
- J. WHERE REMOVAL OF EXISTING FLOOR COVERING IS INDICATED PREPARE EXISTING SUBSTRATE TO ALLOW FOR NEW LEVEL FLOOR COVERING TO MATCH ADJACENT FLOOR.
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- M. EXITING FROM STRUCTURE, IF REQUIRED TO PASS THROUGH DEMOLITION AREA(S), SHALL HAVE APPROVED BARRIERS, ETC., TO INSURE PUBLIC SAFETY.
- N. REMOVE ALL DIRT, DUST, DEBRIS, ETC. DAILY. DO NOT ALLOW REFUSE TO BLOCK CORRIDORS, STAIRS, OR ANY OTHER TRAFFIC AREA.
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- R. PATCH/REPAIR WALLS AS REQUIRED TO ACCEPT NEW PAINTED FINISH.
- S. REMOVE SUSPENDED CEILING SYSTEM IN AREA INDICATED. REMOVE LIGHTING, HVAC VENTS, AND ANY LIFE SAFETY EQUIPMENT AND DEVICES FROM CEILING IN AREA INDICATED. COORDINATE DEMOLITION WITH MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS.
- T. THE CONTRACTOR SHALL PROTECT INTERIOR SURFACE OF GLAZING AT TIMES FROM BREAKAGE AND SCRATCHING OF INTERIOR WINDOW COATINGS. ANY HOLLOW OR DAMAGED AREAS OF CONCRETE FLOOR SHALL BE REPAIRED PRIOR TO COMMENCEMENT OF NEW CONSTRUCTION. THE CONTRACTOR SHALL REMOVE FROM DEMOLISHED WALLS OR PORTIONS OF WALLS POWER CIRCUITS AND SWITCH LEGS BACK TO FIRST JUNCTION BOX IN CEILING SPACE. REMOVE ANY MILLWORK OR WALL-MOUNTED PLUMBING FIXTURES FROM WALLS INDICATED TO BE DEMOLISHED AND NOT OTHERWISE SHOWN. THE CONTRACTOR SHALL MAINTAIN A TRUCK OR OTHER VEHICLE FOR REMOVAL OF WASTE MATERIALS DAILY FROM SITE. WASTE MATERIALS SHALL BE TRANSPORTED TO SUCH VEHICLE BY COVERED RUBBER-TIRED CARTS. ANY LIGHTING FIXTURES REMOVED FROM THE SPACE AND NOT DISPOSED OF SHALL BE SALVAGED AS DIRECTED BY THE OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL TAKE CARE NOT TO UNREASONABLY CAUSE DAMAGE TO THE LIGHTING FIXTURES.
- U. VERIFY ALL EXISTING WALL, FLOOR, CEILING, AND METHODS OF DEMOLITION REQUIRED FOR NEW CONSTRUCTION.

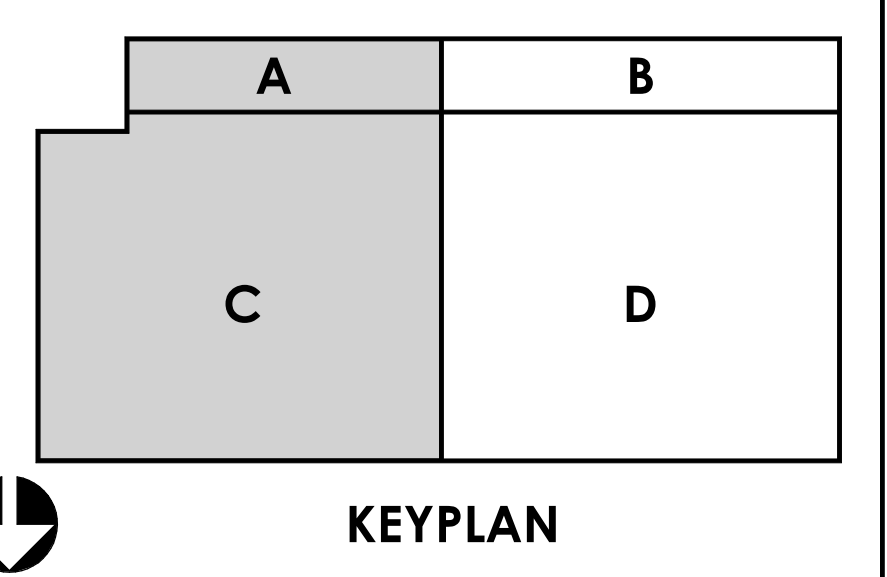
ARCHITECTURAL KEYS LEGEND



DEMOLITION PLAN KEYNOTES

- D.1 REMOVE WALL, BASE, AND ALL ASSOCIATED COMPONENTS, SALVAGE HARDWARE.
- D.2 REMOVE DOOR, FRAME, AND ALL ASSOCIATED COMPONENTS, SALVAGE HARDWARE.
- D.3 REMOVE CASEWORK AND ALL ASSOCIATED COMPONENTS
- D.4 REMOVE TOILET/RINAL, GRAB BARS, AND ALL ASSOCIATED TOILET ACCESSORIES, LEAVE TOILET MOUNTS AND REMOVE
- D.5 REMOVE SINK, PLUMBING, COUNTERTOP, VANITY AND ALL ASSOCIATED ACCESSORIES. PREP AREA FOR NEW FIXTURES
- D.6 REMOVE COLUMN WRAP AND ALL ASSOCIATED COMPONENTS TYPICAL ALL LOCATIONS WITHIN PROJECT SCOPE OF WORK
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- D.17 REMOVE DOCK SEALS AND ALL ASSOCIATED COMPONENTS
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- D.19 REMOVE WOODEN GAP FROM HALF HEIGHT WALL. PREP AREA FOR NEW CONSTRUCTION. REFER TO WALL CONSTRUCTION DETAILS ON SHEET A003
- D.20 SANDBLAST STAIRS TO MEZZANINE. ENSURE AREA IS CLEANED AND READY TO TAKE A NEW SMOOTH FINISH

NOTE:
WHERE STUDS ARE RUSTED, REPLACE WITH NEW IN SAME PLACE



1 FIRST FLOOR DEMOLITION PLAN
1/8" = 1'-0"
NORTH

REVISIONS: 01/24/24
 REVISION DATE: 01/24/24
 REVISION NUMBER: 01/24/24
 REVISION DESCRIPTION: FOR CONSTRUCTION

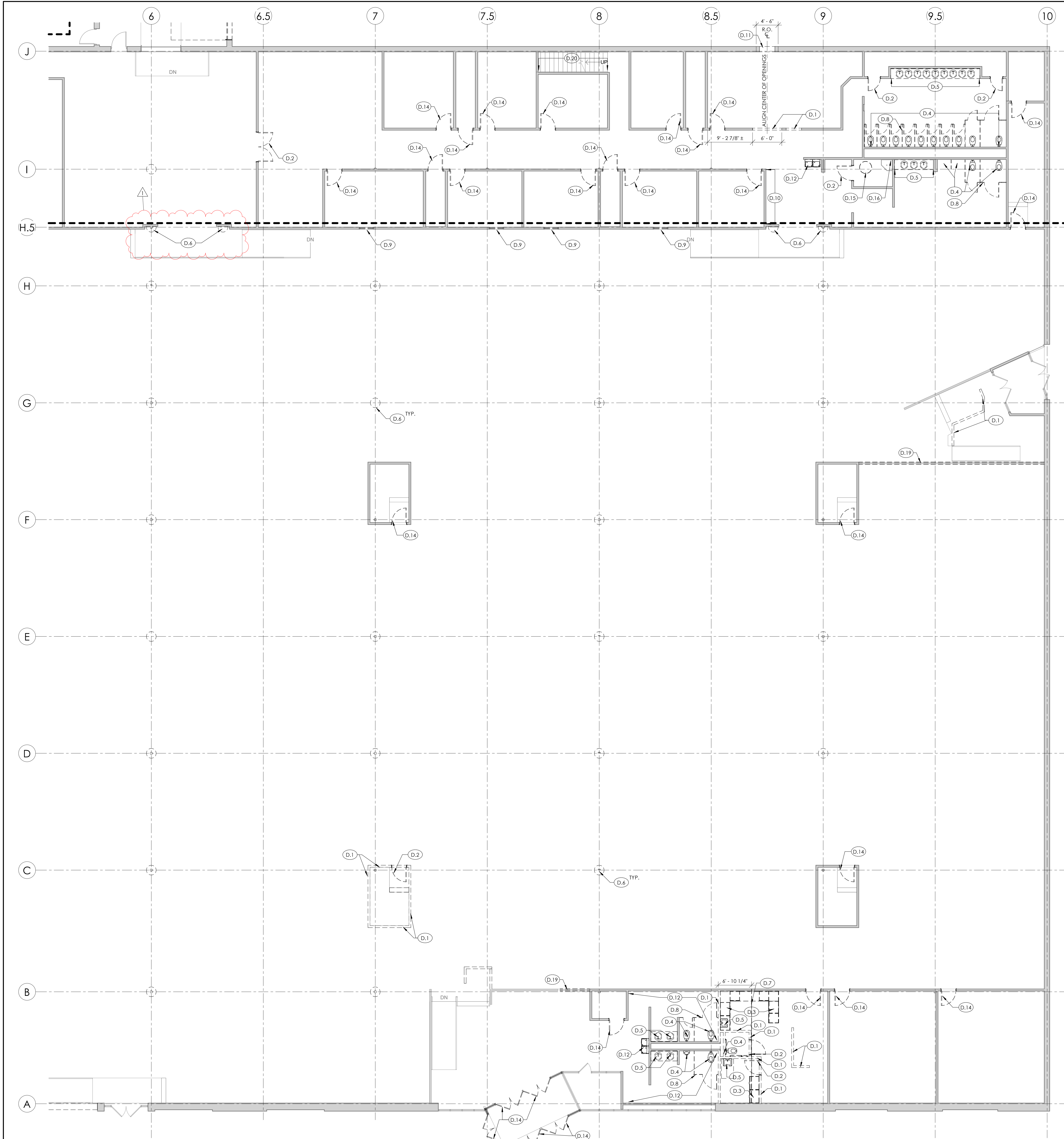
CONSULTANTS
 9339 PRIORITY WAY WEST DRIVE
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ENLARGED DEMOLITION PLAN - AREAS A&C
 INDIANA DEPARTMENT OF ADMINISTRATION
FSSA & DCS
 2801 WABASH AVENUE, TERRE HAUTE, IN 47803

CERTIFIED BY:

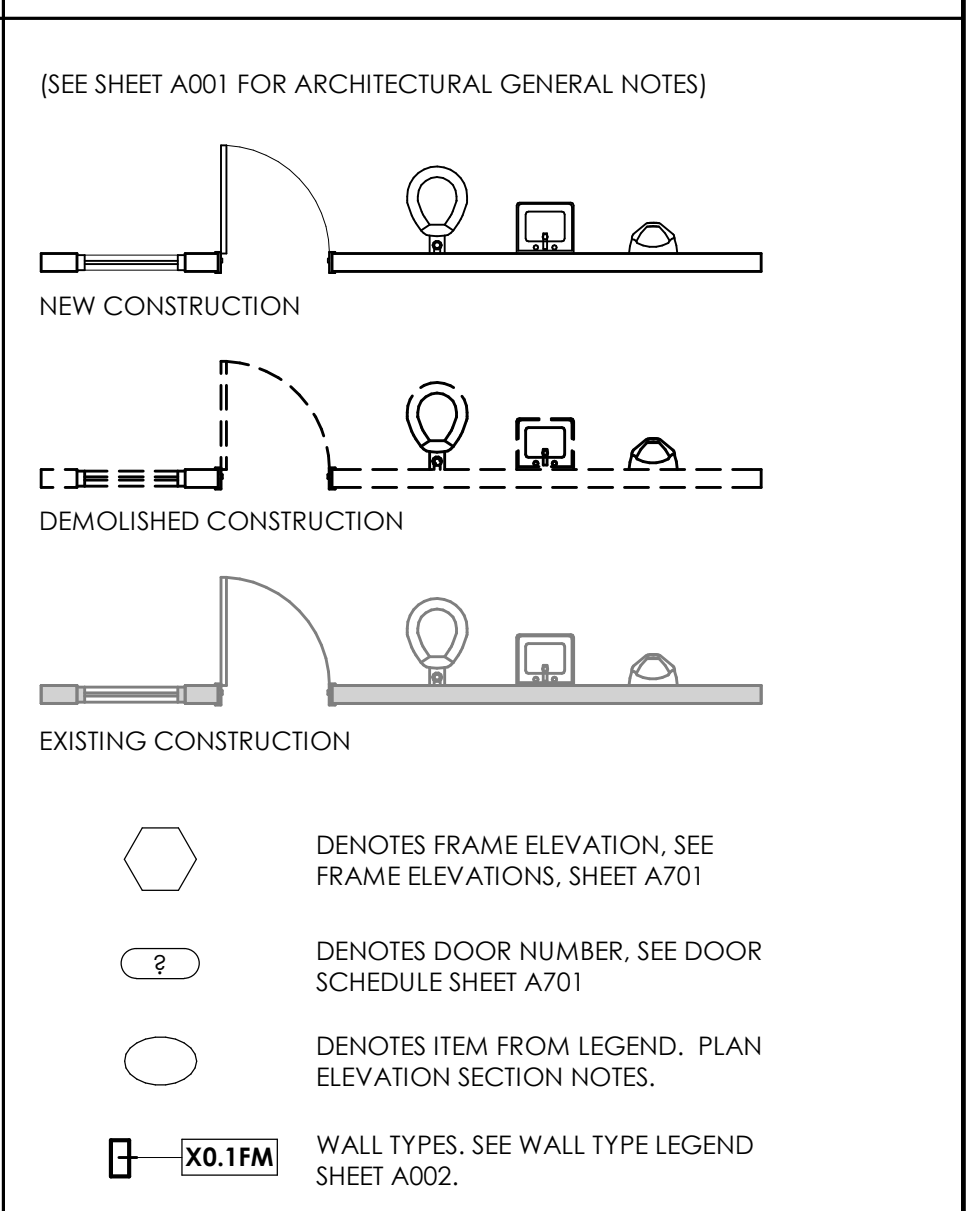
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DEMOLITION PLAN KEYNOTES

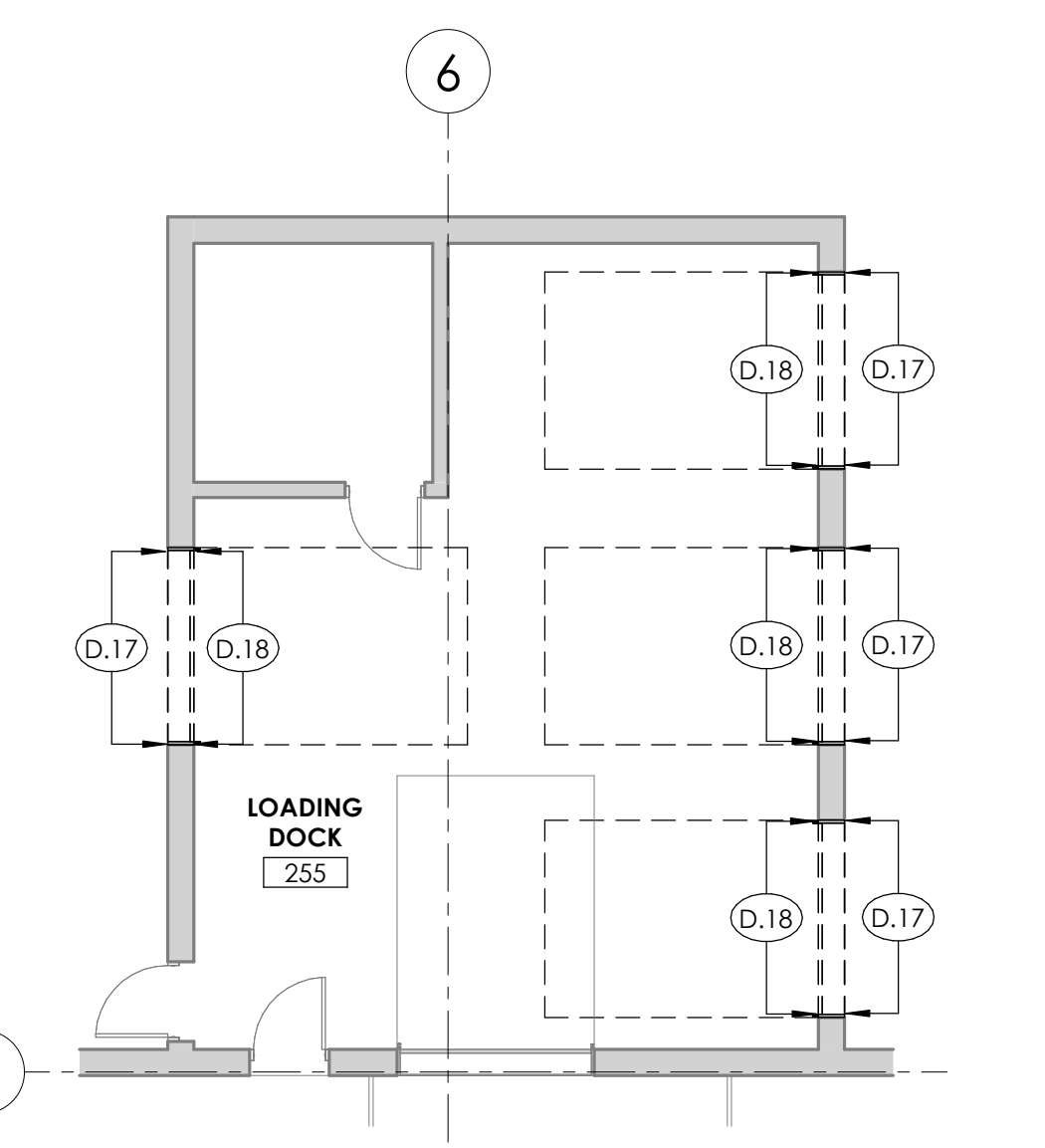
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ARCHITECTURAL KEYS LEGEND

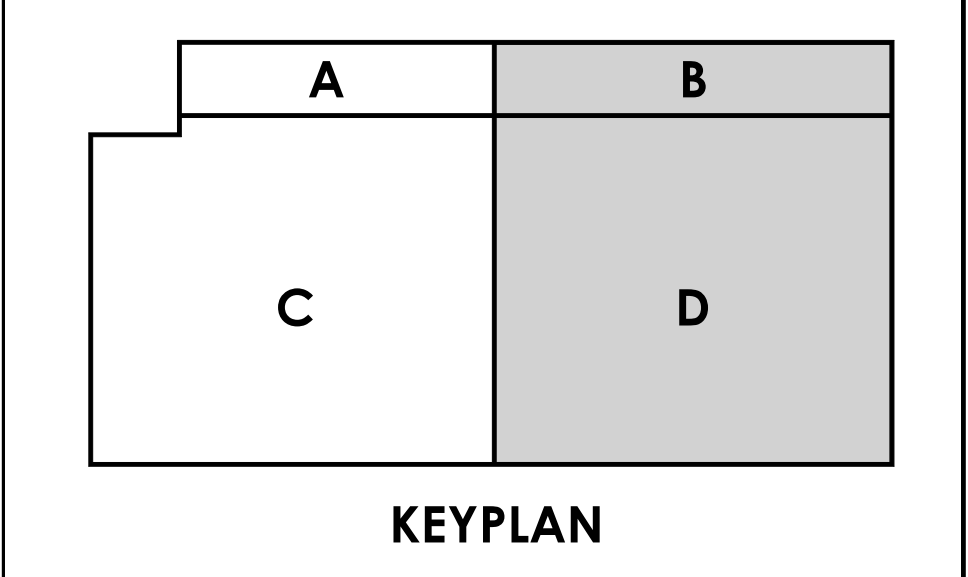


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- S. PATCH/REPAIR WALLS AS REQUIRED TO ACCEPT NEW PAINTED FINISH.
- T. REMOVE SUSPENDED CEILING SYSTEM IN AREA INDICATED, REMOVE LIGHTING, HVAC VENTS, AND ANY LIFE SAFETY EQUIPMENT AND DEVICES FROM CEILING IN AREA INDICATED. COORDINATE DEMOLITION WITH MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS.
- U. THE CONTRACTOR SHALL PROTECT INTERIOR SURFACE OF GLAZING AT TIMES FROM BREAKAGE AND SCRATCHING OF INTERIOR WINDOW COATINGS. ANY HOLLOW OR DAMAGED AREAS OF CONCRETE FLOOR SHALL BE REPAIRED PRIOR TO COMMENCEMENT OF NEW CONSTRUCTION. THE CONTRACTOR SHALL REMOVE FROM DEMOLISHED WALLS OR PORTIONS OF WALLS POWER CIRCUITS AND SWITCH LEGS BACK TO FIRST JUNCTION BOX IN CEILING SPACE. REMOVE ANY MILLWORK OR WALL-MOUNTED PLUMBING FIXTURES FROM WALLS INDICATED TO BE DEMOLISHED AND NOT OTHERWISE SHOWN. THE CONTRACTOR SHALL MAINTAIN A TRUCK OR OTHER VEHICLE FOR REMOVAL OF WASTE MATERIALS DAILY FROM SITE. WASTE MATERIALS SHALL BE TRANSPORTED TO SUCH VEHICLE BY COVERED RUBBER-TIRED CARS. ANY LIGHTING FIXTURES REMOVED FROM THE SPACE AND NOT DISPOSED OF SHALL BE SALVAGED AS DIRECTED BY THE OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL TAKE CARE NOT TO UNREASONABLY CAUSE DAMAGE TO THE LIGHTING FIXTURES.
- V. VERIFY ALL EXISTING WALL, FLOOR, CEILING, AND METHODS OF DEMOLITION REQUIRED FOR NEW CONSTRUCTION.



1 FIRST FLOOR DEMOLITION PLAN
1/8" = 1'-0" NORTH



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 DEMOLITION
 REPAIRS
 RESTORATION SERVICES

CONSULTANTS
FSS & DCS
 2801 WABASH AVENUE, TERRE HAUTE, IN 47803

ENLARGED DEMOLITION PLAN - AREAS B&D
 INDIANA DEPARTMENT OF ADMINISTRATION
 REGISTERED PLANNING ARCHITECT
 No. AR12300112
 STATE OF INDIANA
 BMM
 KJ
 KJ
 As indicated
A013
 2024-12-20
 0240101-10000

REFLECTED CEILING LEGEND - DEMO

A		GYPSUM BOARD
B		2x2 SUSPENDED ACOUSTICAL CEILING TILE AND GRID SYSTEM
C		EXISTING 2x2 SUSPENDED ACOUSTICAL CEILING TILE AND GRID SYSTEM
D		EXPOSED
E		NOT USED
		UNINSULATED FINISHING SYSTEM
		LIGHT FIXTURES

DEMOLITION CEILING PLAN KEYNOTES

- DC.1 REMOVE BULKHEAD AND ALL ASSOCIATED COMPONENTS
- DC.2 REMOVE AND SAVE LIGHTS WHERE NEW WALLS EXTEND TO CEILING, TYPICAL
- DC.3 REMOVE AND SAVE ALL 2x2 LIGHTS IN DEMOLISHED BULKHEADS, TYPICAL
- DC.4 REMOVE AND SAVE DIFFUSERS WHERE NEW WALLS EXTEND TO CEILING, TYPICAL
- DC.5 REMOVE 2x2 ACT GRID AND ALL ASSOCIATED COMPONENTS. PREP TO RECEIVE NEW ACT CEILING
- DC.6 REMOVE LOWER CEILING GRID AND ALL ASSOCIATED COMPONENTS, EXISTING CEILING GRID AT UPPER HEIGHT (12'-0" IF APPLICABLE) TO REMAIN

DEMOLITION GENERAL NOTES

- A. DASHED LINES INDICATE EXISTING ITEMS TO BE REMOVED, UNLESS NOTED OTHERWISE, CONTRACTOR SHALL BE RESPONSIBLE FOR THE OFF-SITE DISPOSAL OF ALL DEMOLITION ITEMS.
- B. RELOCATED ITEMS SHALL BE CLEANED AND PLACED IN STORAGE, PER OWNER'S DIRECTIONS UNTIL ITEMS ARE READY TO BE REINSTALLED, IF ITEMS ARE DAMAGED DURING DEMOLITION OR RELOCATION IT SHALL BE REPAIRED OR REPLACED WITH NEW ITEM AS APPROVED BY OWNER.
- C. DEMOLITION SHALL BE DONE WITHOUT DAMAGE TO EXISTING CONSTRUCTION TO REMAIN, WHERE SUCH DAMAGE OCCURS PATCH, REPAIR, OR RESTORE WALLS, FLOORS, CEILINGS, ETC TO MATCH EXISTING. PROVIDE SHORING, BRACING, OR SUPPORT AS REQUIRED TO PREVENT MOVEMENT OR SETTLEMENT OF EXISTING CONSTRUCTION.
- D. REMOVE ALL EXISTING CONSTRUCTION, ITEMS AND FINISHES MADE OBSOLETE BY, OR IN CONFLICT WITH NEW CONSTRUCTION. COORDINATE WITH ARCHITECTURAL.
- E. CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF DEMOLITION ITEMS WITH THE OTHER TRADES PRIOR TO THE START OF DEMOLITION WORK.
- F. ALL CONTRACTORS ARE RESPONSIBLE FOR REMOVAL AND REPLACEMENT OF CEILING GRID AND/OR TILES IN ANY AREA WHERE THEY NEED ACCESS AND THE EXISTING CEILING IS TO REMAIN, UNLESS OTHERWISE NOTED, CONTRACTOR SHALL REPLACE ANY CEILING TILES OR GRID DAMAGED IN PROCESS.
- G. THE OWNER HAS THE RIGHT TO RETAIN ANY DEMOLISHED OR REMOVED ITEMS. COORDINATE BEFORE DEMOLITION OCCURS.
- I. CONTRACTOR MUST FIELD VERIFY ALL AREAS AND/OR WORK TO BE DEMOLISHED PRIOR TO BEGINNING WORK, CONTRACTOR MUST COORDINATE WITH ARCHITECT ANY DIFFERENCES BETWEEN FIELD VERIFIED CONDITIONS AND/OR CONSTRUCTION, AND WHAT IS SHOWN ON DEMOLITION DRAWINGS.
- J. WHERE EXISTING WALLS, BULKHEADS, OR FINISHES ARE REMOVED OR PARTIALLY DEMOLISHED, EACH TRADE SHALL BE RESPONSIBLE FOR PATCHING OR REFINISHING OF EXISTING CONSTRUCTION REQUIRED BY THAT TRADES WORK ON THIS PROJECT. THIS WORK MUST BE DONE IN A MANNER CAPABLE OF EXCEPTING NEW FINISHES.
- K. THE REMOVAL AND INSTALLATION OF LOOSE FURNITURE AND MOVABLE EQUIPMENT SHALL BE PERFORMED BY THE OWNER (U.N.O.)
- L. WHERE REMOVAL OF EXISTING FLOOR COVERING IS INDICATED PREPARE EXISTING SUBSTRATE TO ALLOW FOR NEW LEVEL FLOOR COVERING TO MATCH ADJACENT FLOOR.
- M. WHERE REMOVAL OF EXISTING MATERIALS OR ITEMS ARE INDICATED, CONTRACTOR SHALL REMOVE ANY ADDITIONAL LAYERS AS REQUIRED TO PROVIDE ADEQUATE SUBSTRATE, (i.e. multiple floor coverings, multiple ceilings, etc.)
- N. PRIOR TO BEGINNING DEMOLITION, DUST CONTROL BARRIERS SHALL BE CONSTRUCTED TO PREVENT THE SPREAD OF DUST INTO SURROUNDING AREAS.
- O. EXISTING FROM STRUCTURE, IF REQUIRED TO PASS THROUGH DEMOLITION AREA(S), SHALL HAVE APPROVED BARRIERS, ETC., TO INSURE PUBLIC SAFETY.
- P. REMOVE ALL DIRT, DUST, DEBRIS, ETC. DAILY. DO NOT ALLOW REFUSE TO BLOCK CORRIDORS, STAIRS, OR ANY OTHER TRAFFIC AREA.
- Q. IT IS ESSENTIAL THAT THE CLIENT BE ABLE TO FUNCTION AS NORMAL AS POSSIBLE IN AREAS ADJACENT TO RENOVATION OR NEW CONSTRUCTION.
- R. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CARPENTRY DEMOLITION REQUIRED FOR THE INSTALLATION OF NEW WORK UNLESS OTHERWISE NOTED, WHETHER SHOWN ON DRAWINGS OR NOT
- S. FIELD INSPECT DEMOLITION WORK PRIOR TO REMOVAL, ENSURE REMOVAL DOES NOT IMPAIR STRUCTURAL INTEGRITY OF EXISTING STRUCTURE. IF FIELD INSPECTION INDICATES STRUCTURAL INTEGRITY MAY BE IMPAIRED, CONTRACTOR SHALL NOTIFY CONSTRUCTION MANAGER AND ARCHITECT IMMEDIATELY.
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NOTE:
EXISTING CEILING TILE
TO BE UTILIZED, NEW TILE
TO BE COORDINATED
BY CONTRACTOR

A	B
C	D

KEYPLAN



REVISION NUMBER REVISION DATE REVISION DESCRIPTION
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 ENLARGED REFLECTED CEILING DEMOLITION PLAN - AREA C
 INDIANA DEPARTMENT OF ADMINISTRATION
FSS & DCS
 2801 WABASH AVENUE, TERRE HAUTE, IN 47803
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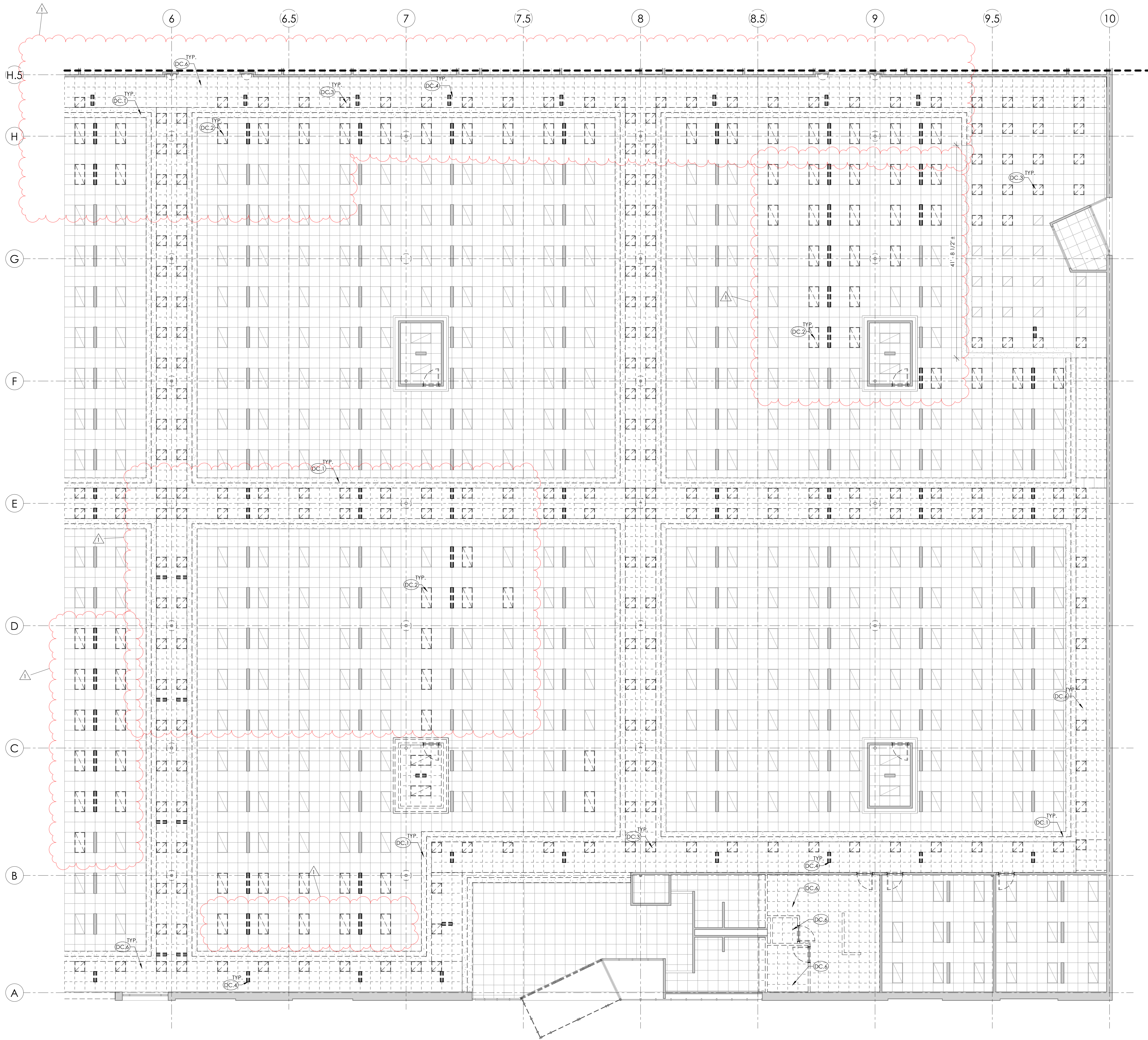
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 0240101-10000

DEMOLITION CEILING PLAN KEYNOTES

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NOTE:
EXISTING CEILING TILE
TO BE UTILIZED, NEW TILE
TO BE COORDINATED
BY CONTRACTOR

A	B
C	D

KEYPLAN

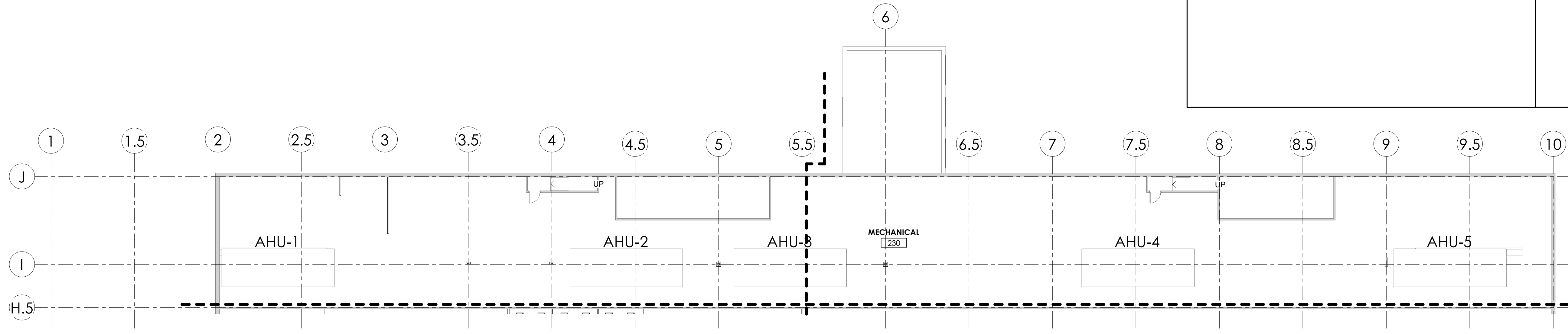
9339 PRIORITY WAY WEST DRIVE
 INDIANAPOLIS, INDIANA 46240
 Phone (317) 844-6777
 E-Mail: cripe@cripe.biz
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 CONSULTANTS
 FSA & DCS
 2801 WABASH AVENUE, TERRE HAUTE, IN 47803
 SOLUTIONS BY DESIGN SINCE 1937
 Cripe
 ENLARGED REFLECTED CEILING DEMOLITION PLAN - AREA D
 INDIANA DEPARTMENT OF ADMINISTRATION
 FSA & DCS
 2801 WABASH AVENUE, TERRE HAUTE, IN 47803
 No. AR12300112
 STATE OF INDIANA
 ARCHITECT
 BMM
 KJ
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 As indicated
A016
 2024-12-20
 0240101-10000

ARCHITECTURAL PLAN KEYNOTES

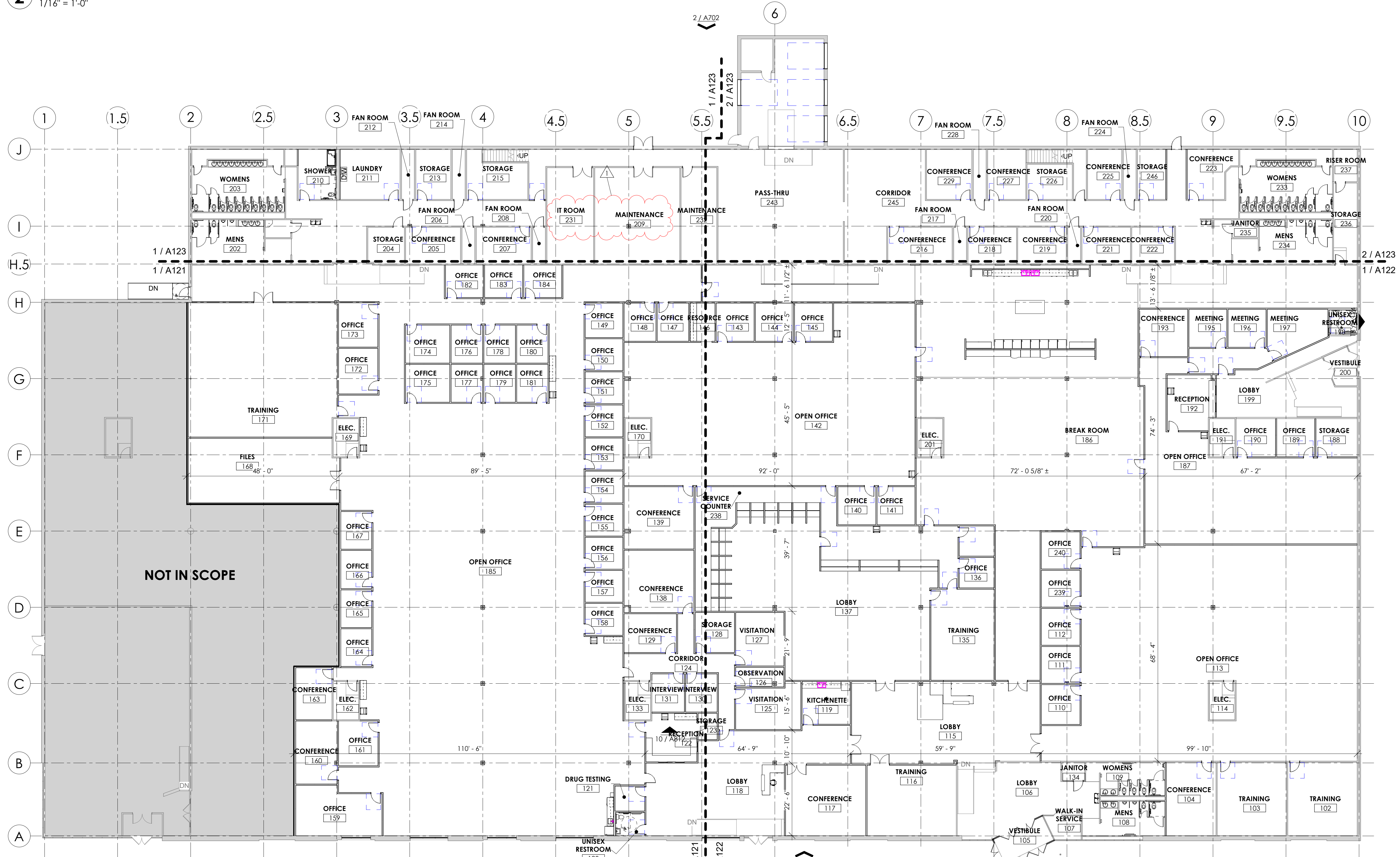
- P.1 ALIGN NEW WALL TO EXISTING WALL SO THAT GYPSUM IS FLUSH
- P.2 TYPICAL COLUMN WRAP DETAIL, REFER TO SHEET A002
- P.3 INSTALL RAISED FLOOR SYSTEM IN AREA OF LOWER FLOOR AFTER REMOVAL OF EXISTING ELECTRICAL ROOM
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- P.5 NEW RAILING TO MATCH EXISTING RAILINGS
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- P.7 STAINLESS STEEL DOUBLE BASIN KITCHEN SINK, REFER TO PLUMBING
- P.8 COUNTERTOP MICROWAVE - COORDINATE WITH MEP
- P.9 DRINKING FOUNTAIN, REFER TO MEP
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- P.11 TRILOGY TOUCH PAD, REFER TO ELECTRICAL
- P.12 PRINTER BY TENANT, REFER TO ELECTRICAL
- P.13 ALTERNATE COLUMN WRAP DETAIL, REFER TO SHEET A002
- P.14 SHELVING BY OWNER PER LEASE
- P.15 ADA ACTUATOR, REFER TO ELECTRICAL

ARCHITECTURAL KEYS LEGEND

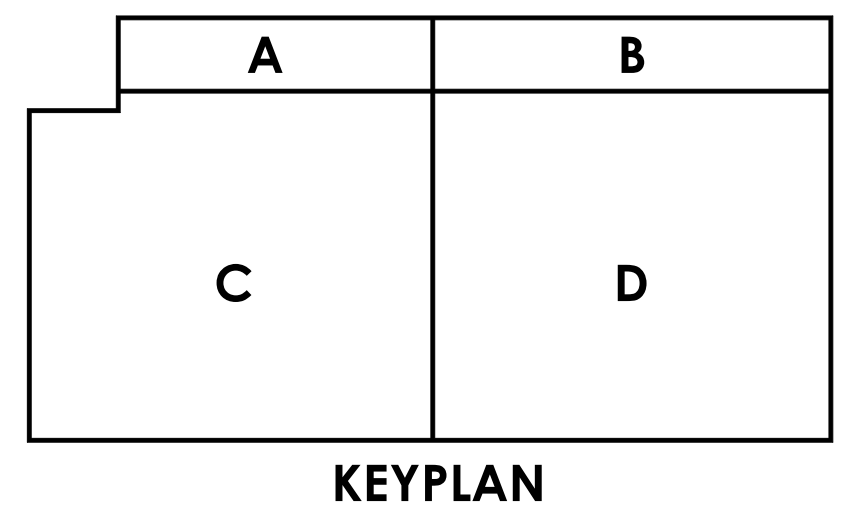
- (SEE SHEET A001 FOR ARCHITECTURAL GENERAL NOTES)
-
- NEW CONSTRUCTION
 - DEMOLISHED CONSTRUCTION
 - EXISTING CONSTRUCTION
 - DENOTES FRAME ELEVATION, SEE FRAME ELEVATIONS, SHEET A701
 - ⊖ DENOTES DOOR NUMBER, SEE DOOR SCHEDULE SHEET A701
 - DENOTES ITEM FROM LEGEND, PLAN ELEVATION SECTION NOTES.
 - ⊖-X0.TFM WALL TYPES, SEE WALL TYPE LEGEND SHEET A002.



2 - SECOND FLOOR - ARCHITECTURAL PLAN
1/16" = 1'-0"



1 - FIRST FLOOR PLAN
1/16" = 1'-0"
NORTH



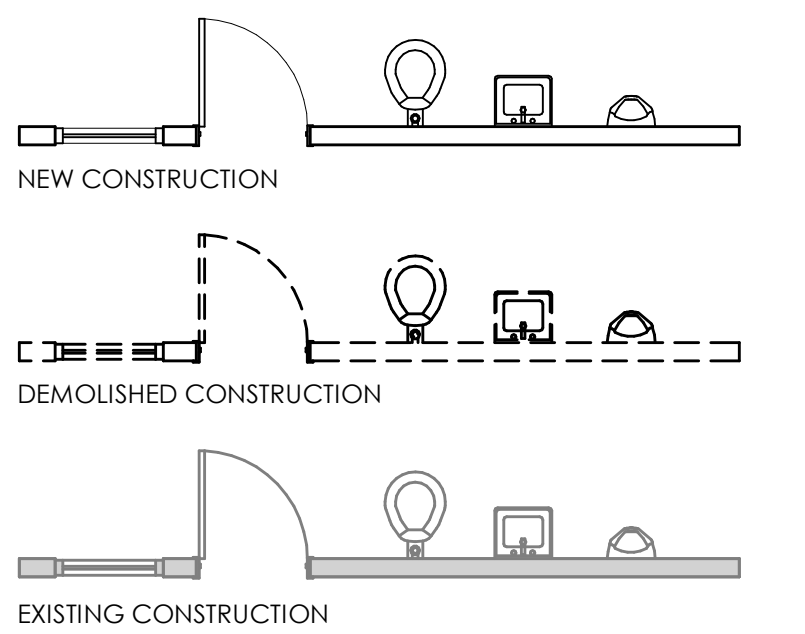
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FLOOR PLANS
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 2024-12-20
 0240101-10000

ARCHITECTURAL KEYS LEGEND

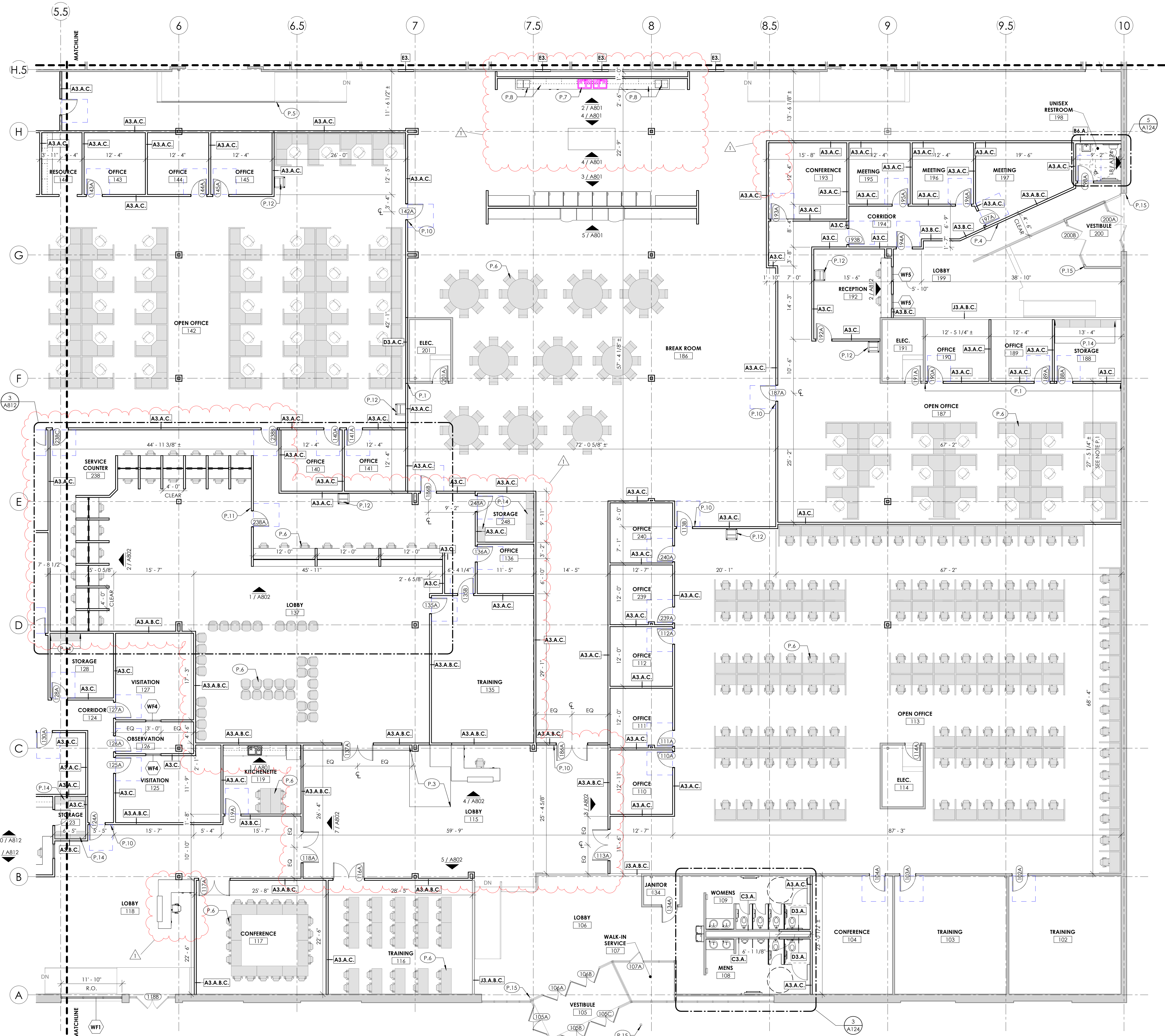
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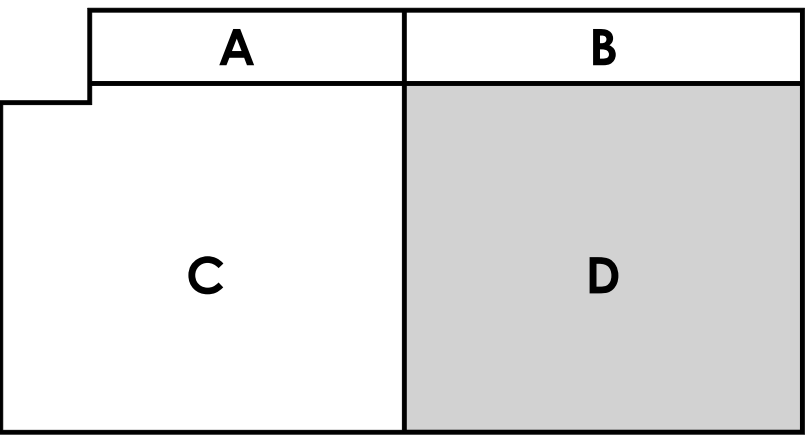
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ARCHITECTURAL PLAN KEYNOTES

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1 FIRST FLOOR PLAN - AREA D
1/8" = 1'-0" NORTH



KEYPLAN

REVISION NUMBER	REVISION DATE	REVISION DESCRIPTION
1	2024.01.24	FOR CONSTRUCTION

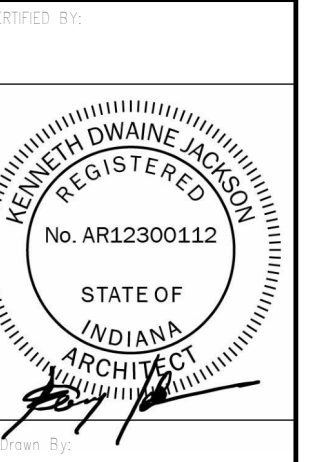
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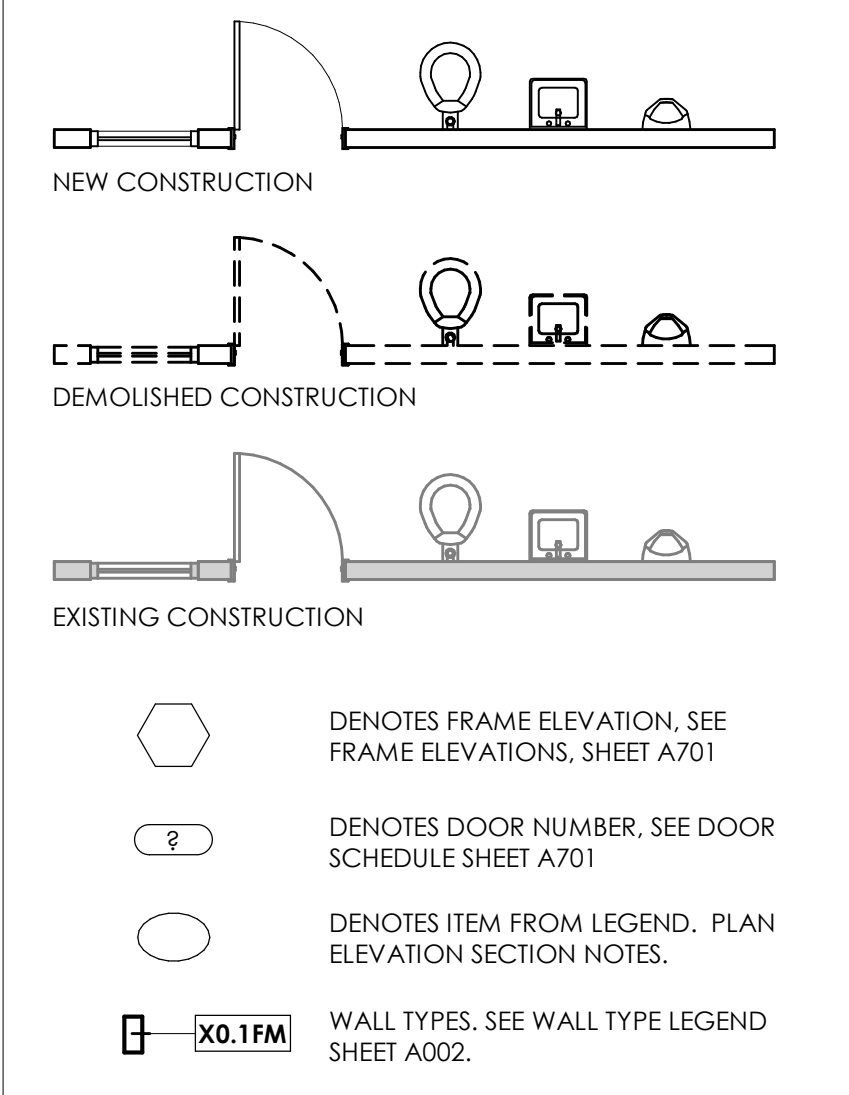
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FSSA & DCS
2801 WABASH AVENUE, TERRE HAUTE, IN 47803



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Drawn by	KJ
Scale	As indicated
Sheet No.	A122
Date	2024-12-20
Project No.	0240101-10000

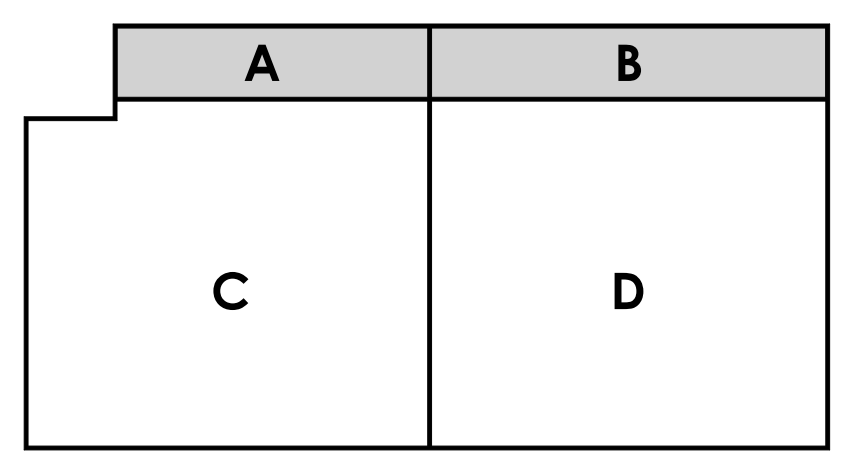
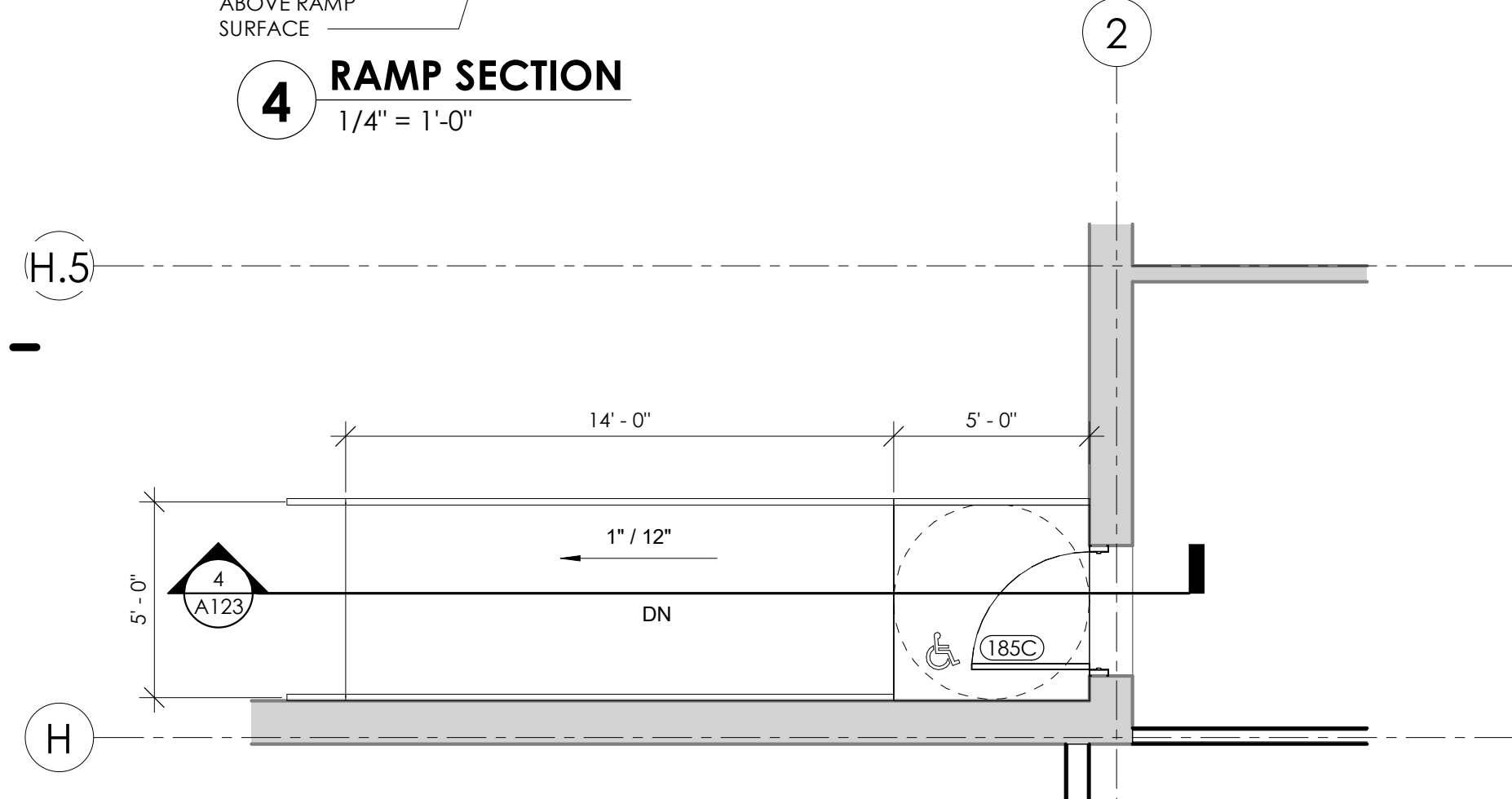
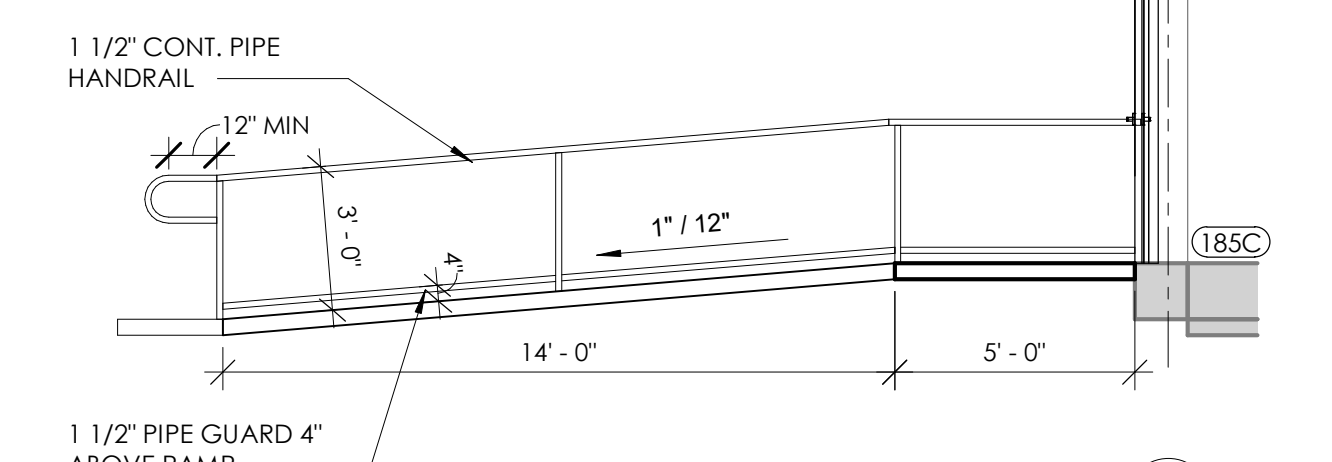
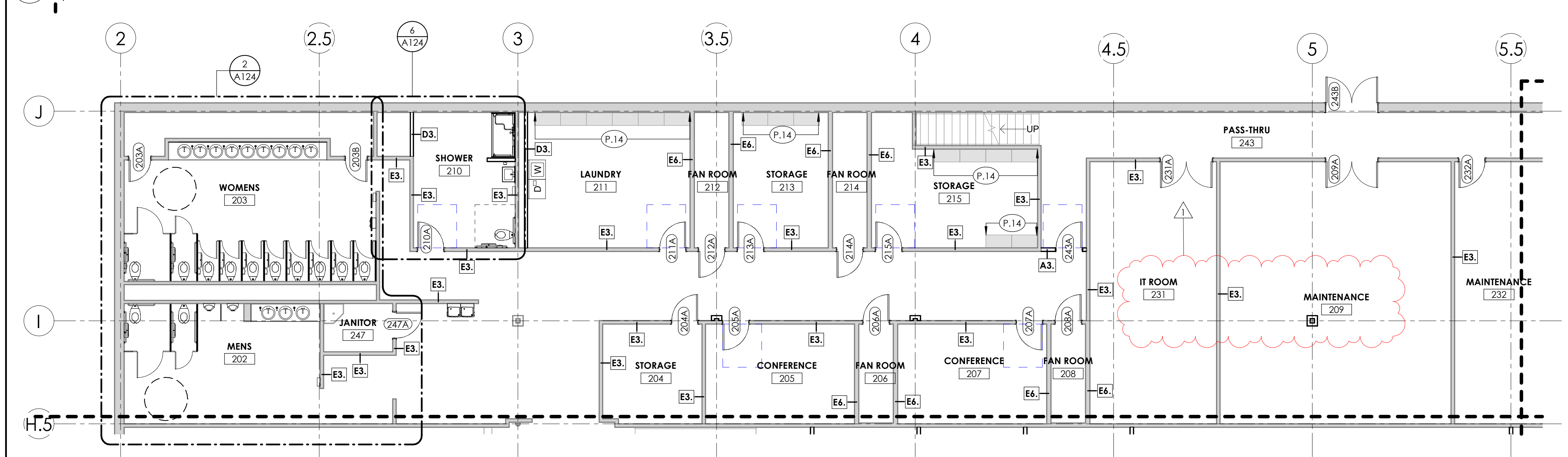
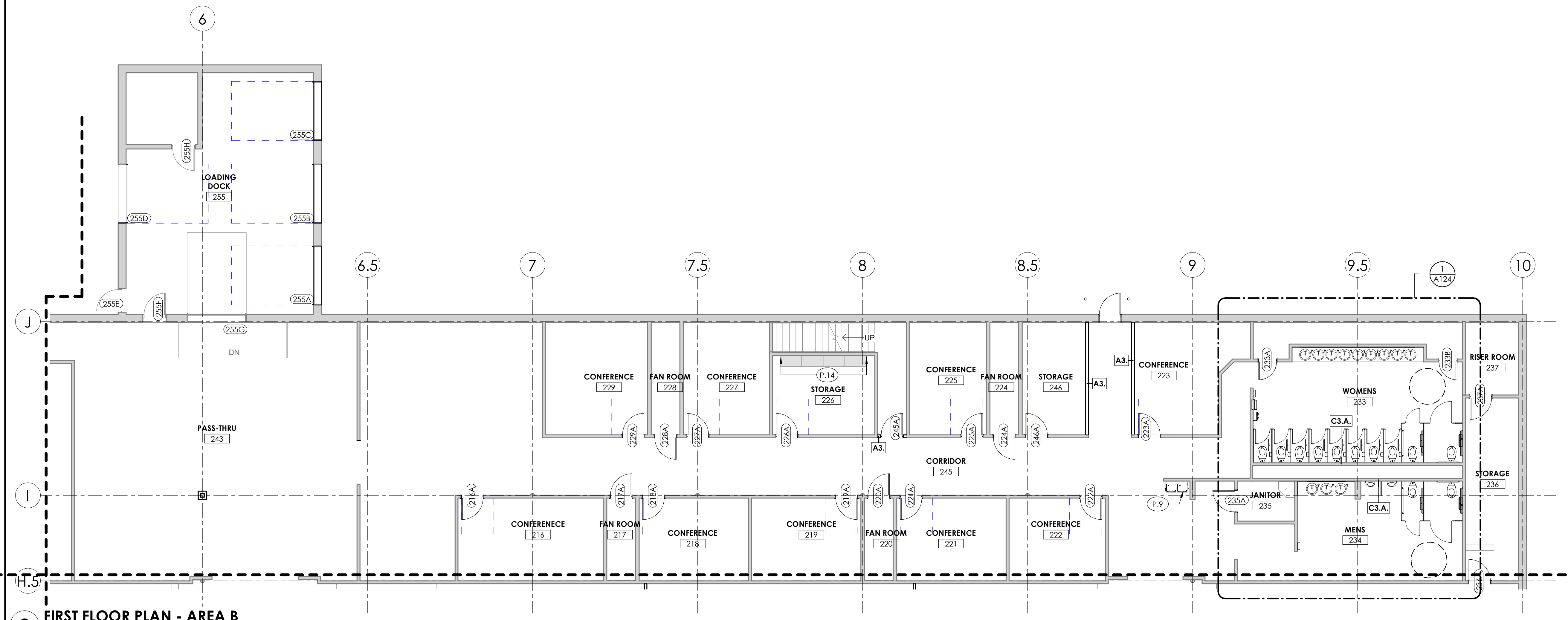
ARCHITECTURAL KEYS LEGEND

(SEE SHEET A001 FOR ARCHITECTURAL GENERAL NOTES)



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REVISION NUMBER REVISION DATE REVISION DESCRIPTION
 2025.01.24 FOR CONSTRUCTION

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 ENVIRONMENTAL
 SOLUTIONS BY DESIGN SINCE 1937

ENLARGED FLOOR PLANS - AREAS A&B
 INDIANA DEPARTMENT OF ADMINISTRATION
 FSSA & DCS
 2801 WABASH AVENUE, TERRE HAUTE, IN 47803

CERTIFIED BY

 BMM
 KJ
 KJ
 As indicated
A123
 2024-12-20
 0240101-10000

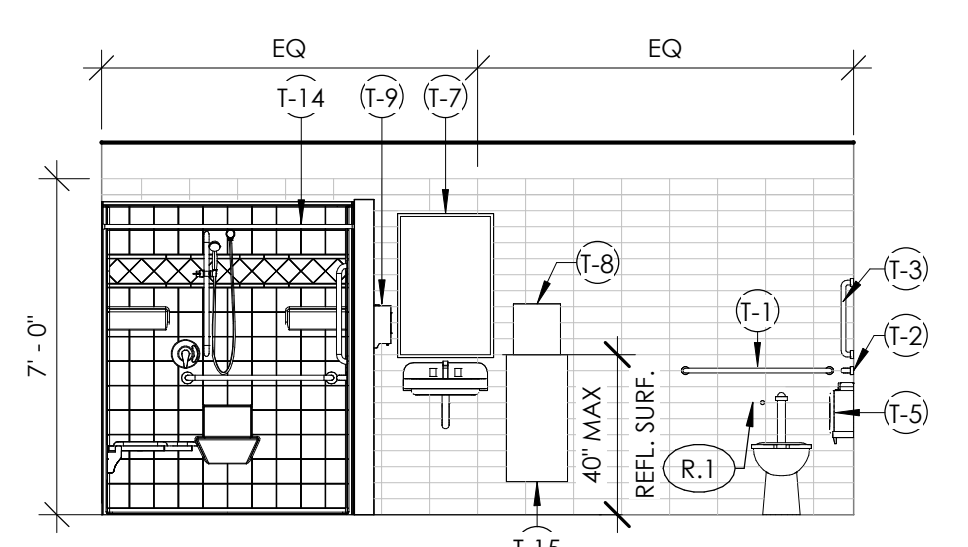
ARCHITECTURAL RESTROOM PLAN KEYNOTES

- R.1 FLUSH CONTROL TO BE ON OPEN SIDE OF TOILET
- R.2 PLUMBING FIXTURES TO BE MOUNTED IN SAME LOCATION AS PREVIOUS EXISTING FIXTURES
- R.3 CEILING MOUNTED TOILET PARTITION
- R.4 URINAL SCREEN
- R.5 WALL BASE, SEE FINISH SCHEDULE
- R.6 WALL TILE, SEE FINISH SCHEDULE, TOP ROW TO BE BULL NOSE
- R.7 FLOAT FLOOR LEVEL WITH SHOWER FLOOR
- R.8 PROVIDE GYPSUM BOTH SIDES AS NEEDED FOR SHOWER MOUNTING PER MANUFACTURER'S RECOMMENDATIONS.
- R.9 ALIGN NEW WALL WITH EDGE OF FLOATED FLOOR

ACCESSORY SCHEDULE

MARK	ITEM	MANUFACTURER	MODEL NUMBER	REMARKS	PROVIDED BY	INSTALLED BY
T-1	36" GRAB BAR	BOBRICK	B-6806 SERIES		GC	GC
T-2	42" GRAB BAR	BOBRICK	B-6804 SERIES		GC	GC
T-3	18" GRAB BAR	BOBRICK	B-6806 SERIES		GC	GC
T-4	BABY CHANGING STATION	KOALA KARE	K8310-SSWM	SURFACE MOUNTED	GC	GC
T-5	TOILET PAPER DISPENSER	BOBRICK	B-2892	SURFACE MOUNTED	GC	GC
T-6	SANITARY DISPENSER	BOBRICK	B-270	SURFACE MOUNTED	GC	GC
T-7	24Wx36H MIRROR	BOBRICK	B-290-2436		GC	GC
T-8	ELECTRIC HAND DRYER	XLERATOR	XL-58	SURFACE MOUNTED	GC	GC
T-9	SOAP DISPENSER	BOBRICK	B-2013	SURFACE MOUNTED	GC	GC
T-10	SANITARY NAPKIN VENDOR	BOBRICK	B-47069C	SURFACE MOUNTED	GC	GC
T-11	SOAP DISPENSER	BOBRICK	B-878	COUNTER MOUNTED	GC	GC
T-12	64Wx36H MIRROR	BOBRICK	B-3942		GC	GC
T-13	COMBINATION PAPER TOWEL DISPENSER AND TRASH	BOBRICK	B-207x60		GC	GC
T-14	CURTAIN ROD	BOBRICK	B-207x60		GC	GC
T-15	SPLASH GUARD	XLERATOR	895	SURFACE MOUNTED	GC	GC

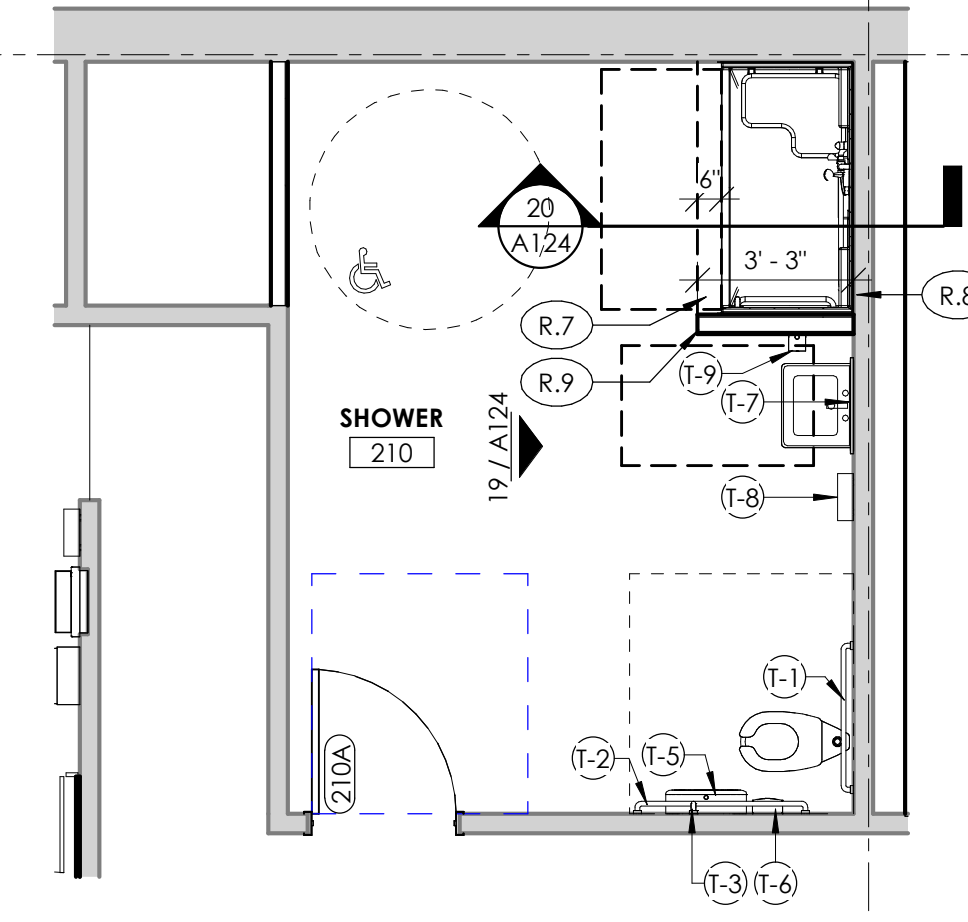
20 SHOWER THRESHOLD
1" = 1'-0"



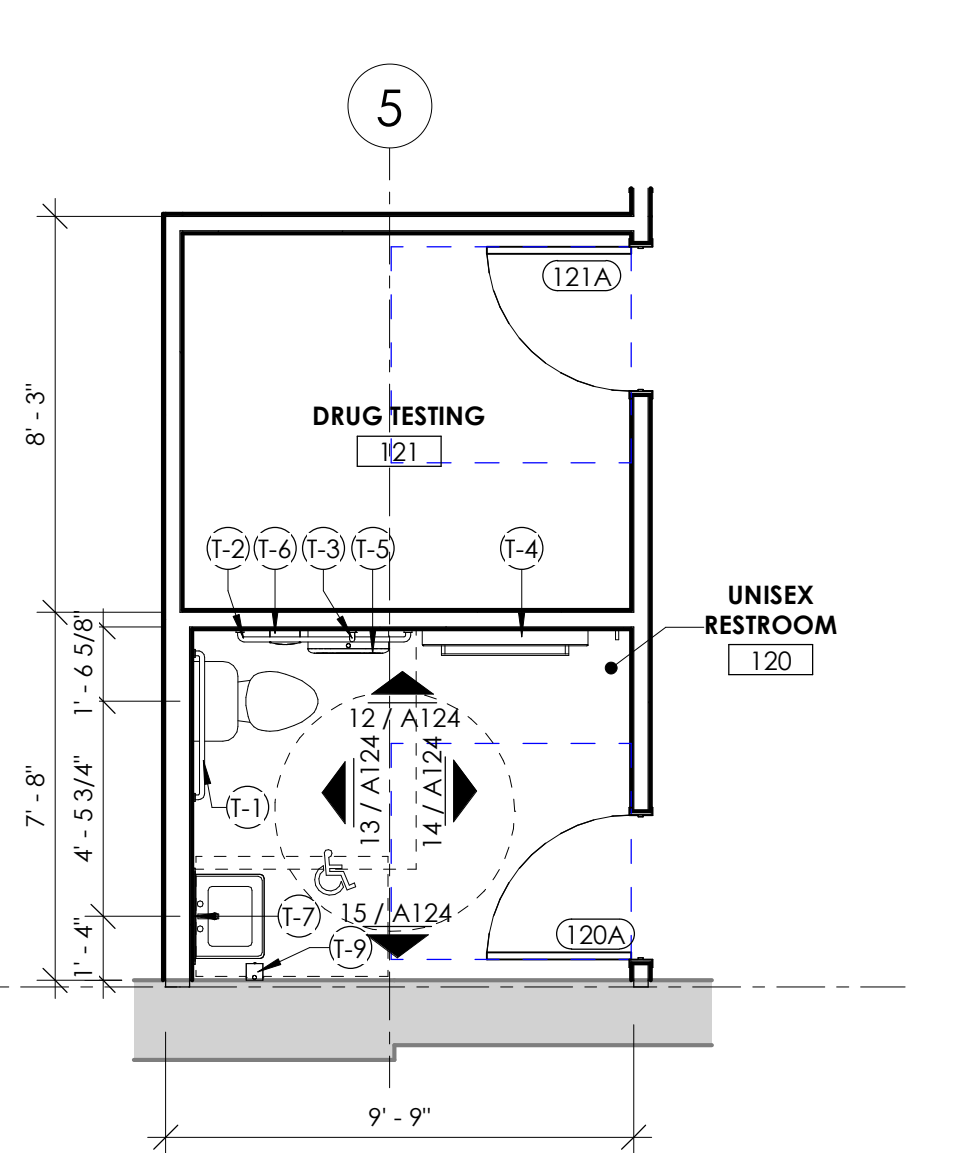
19 RESTROOM ELEVATION
1/4" = 1'-0"



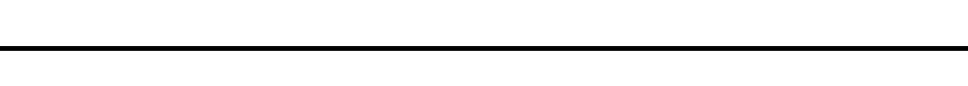
6 ENLARGED RESTROOM PLAN
1/4" = 1'-0"



5 ENLARGED RESTROOM PLAN
1/4" = 1'-0"



4 ENLARGED RESTROOM PLAN
1/4" = 1'-0"



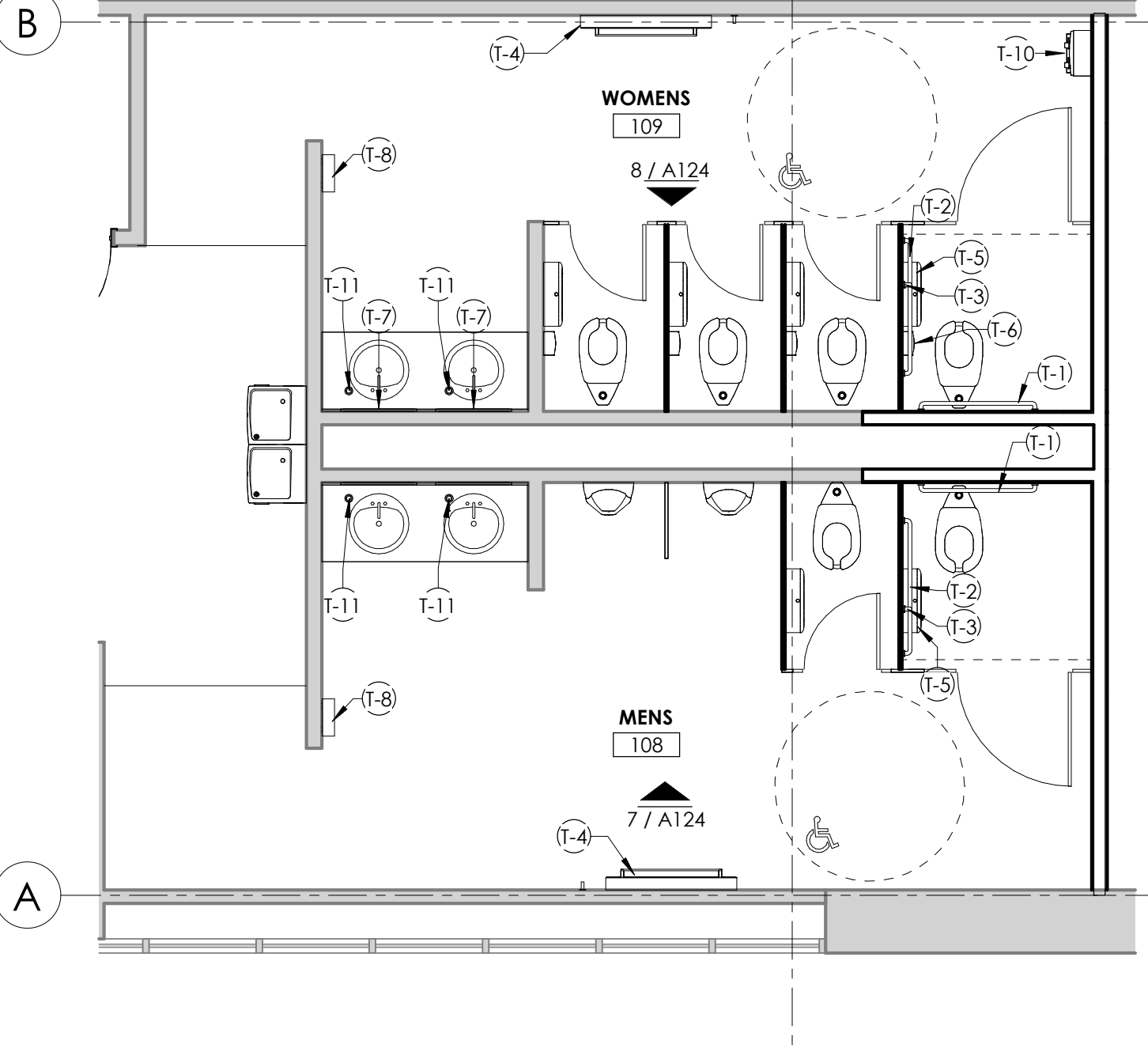
8 RESTROOM ELEVATION
1/4" = 1'-0"



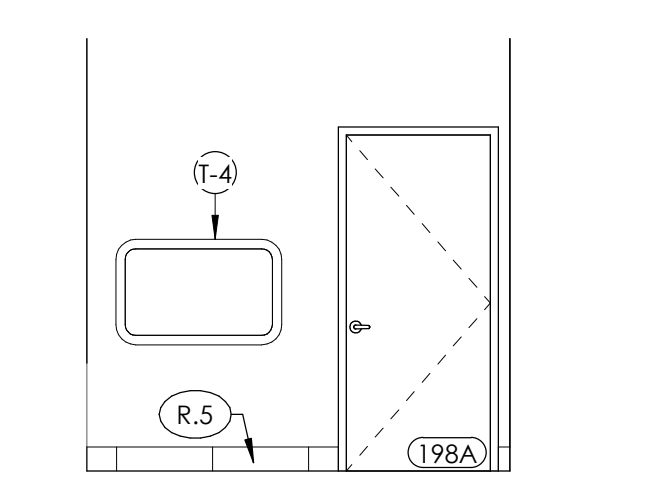
7 RESTROOM ELEVATION
1/4" = 1'-0"



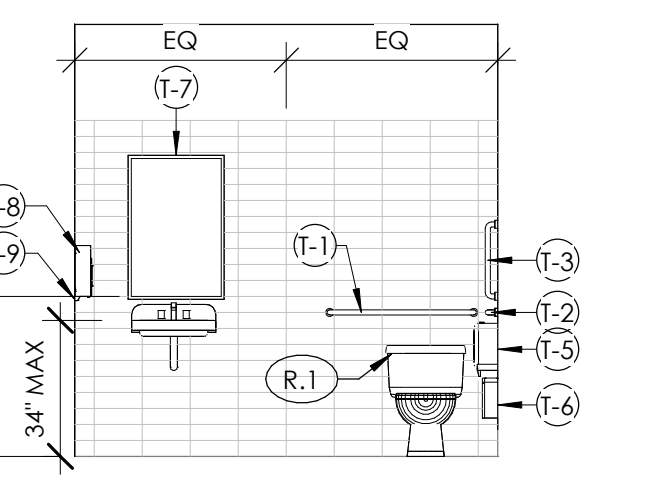
3 ENLARGED RESTROOM PLAN
1/4" = 1'-0"



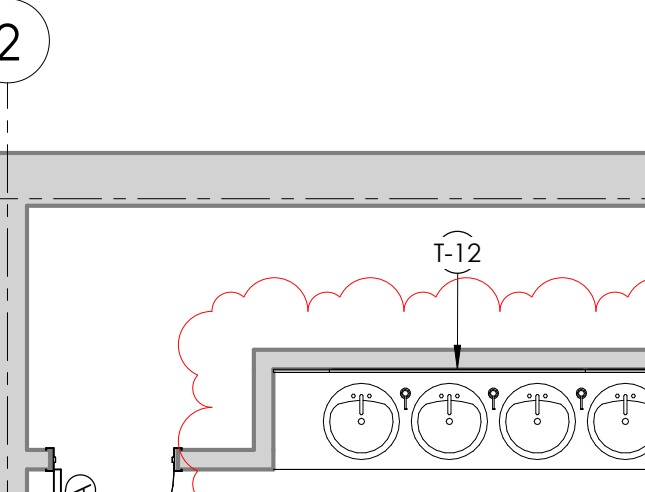
18 RESTROOM ELEVATION
1/4" = 1'-0"



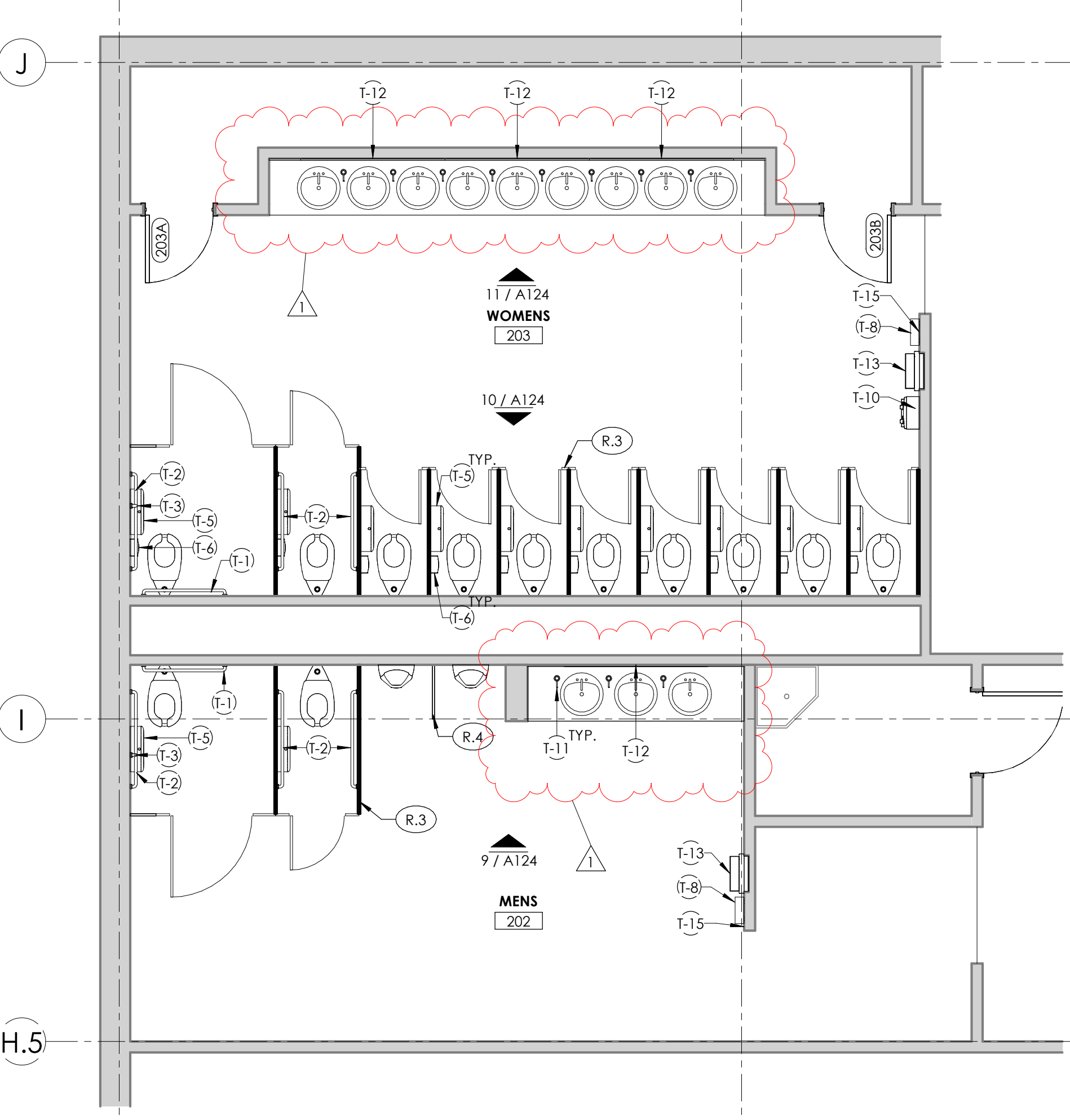
17 RESTROOM ELEVATION
1/4" = 1'-0"



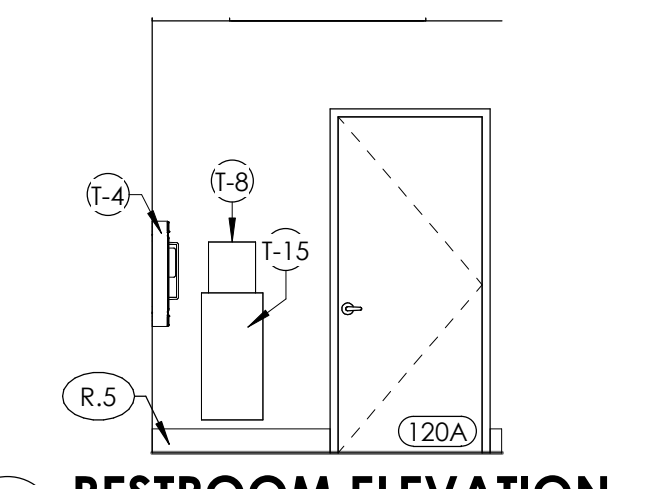
16 RESTROOM ELEVATION
1/4" = 1'-0"



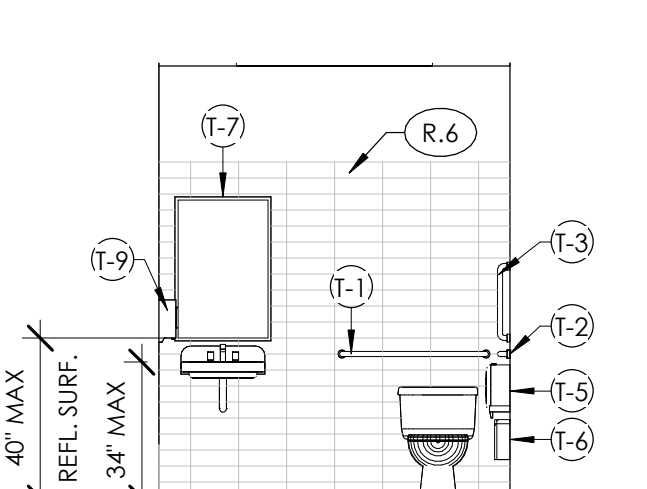
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1/4" = 1'-0"



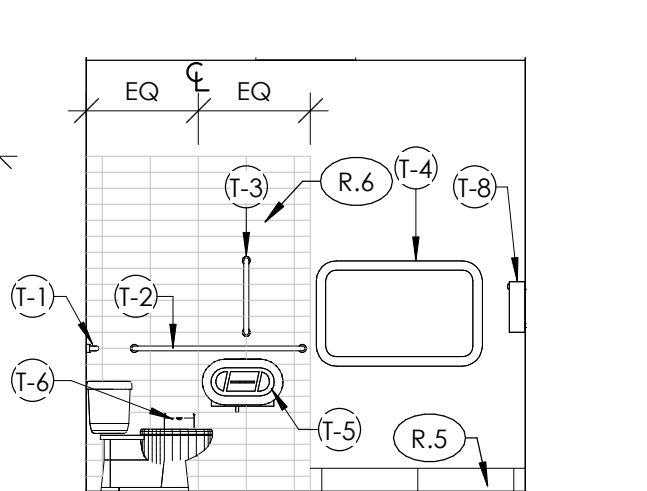
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1/4" = 1'-0"



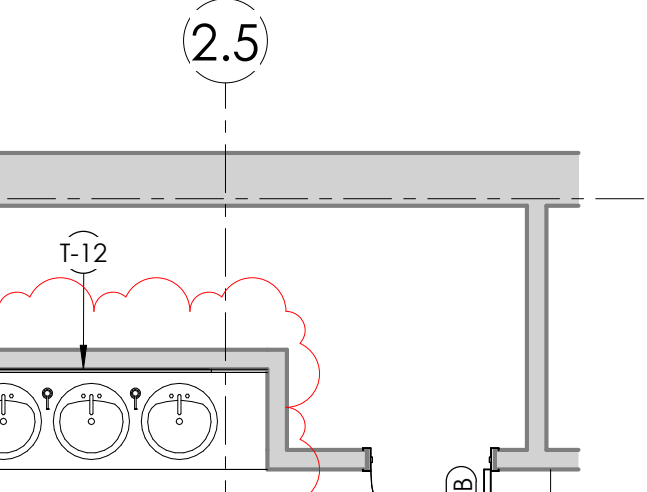
14 RESTROOM ELEVATION
1/4" = 1'-0"



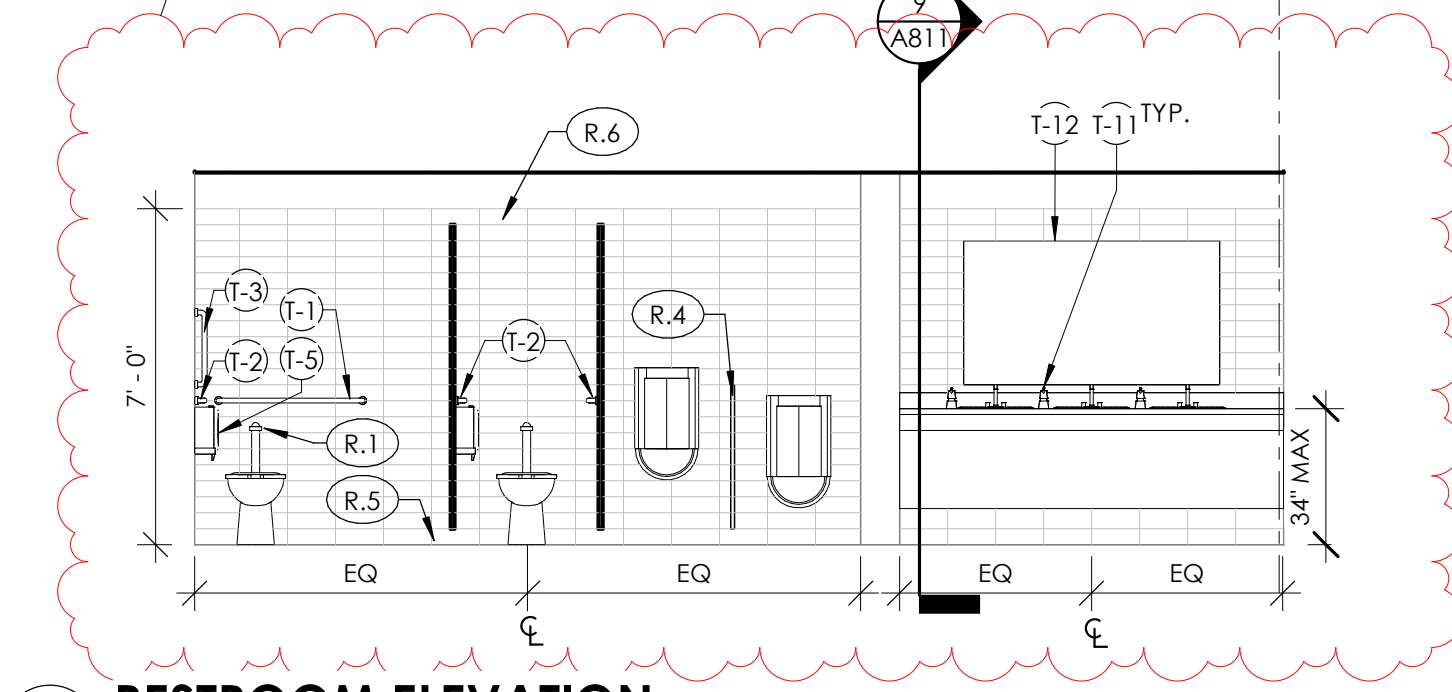
13 RESTROOM ELEVATION
1/4" = 1'-0"



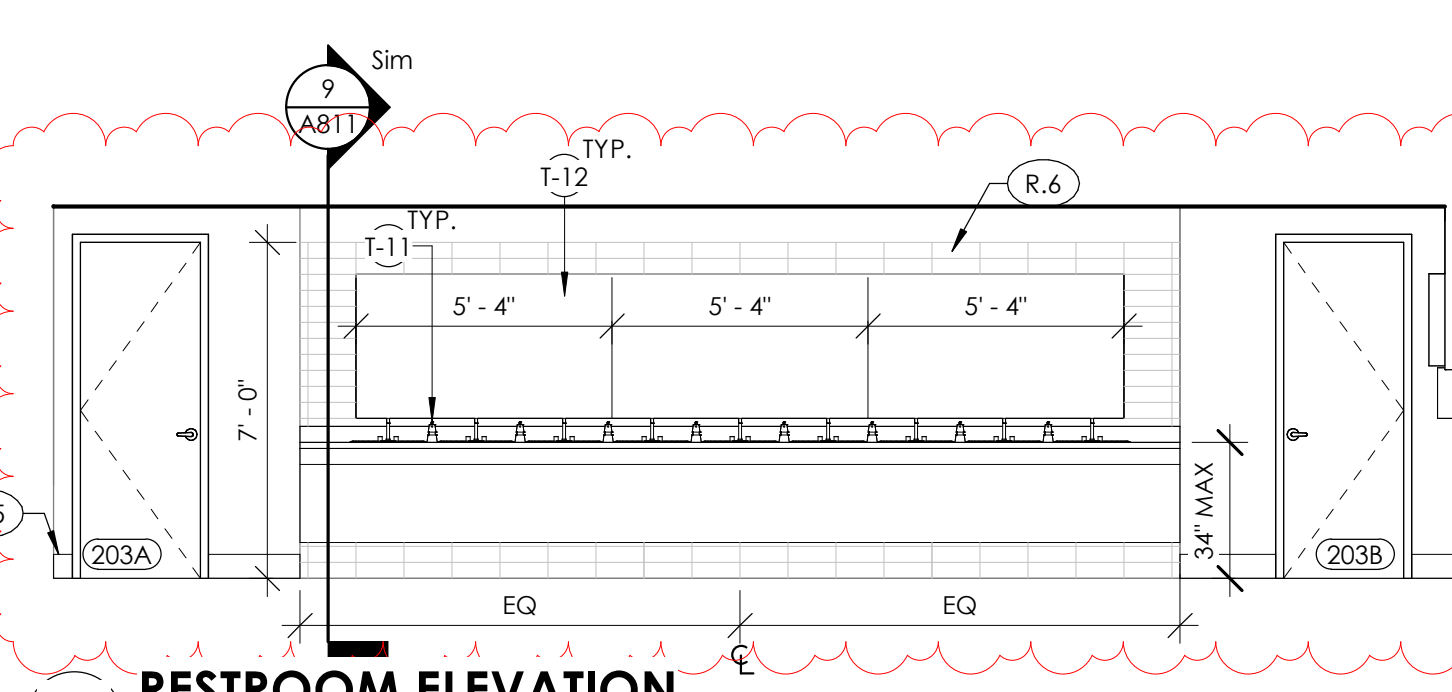
12 RESTROOM ELEVATION
1/4" = 1'-0"



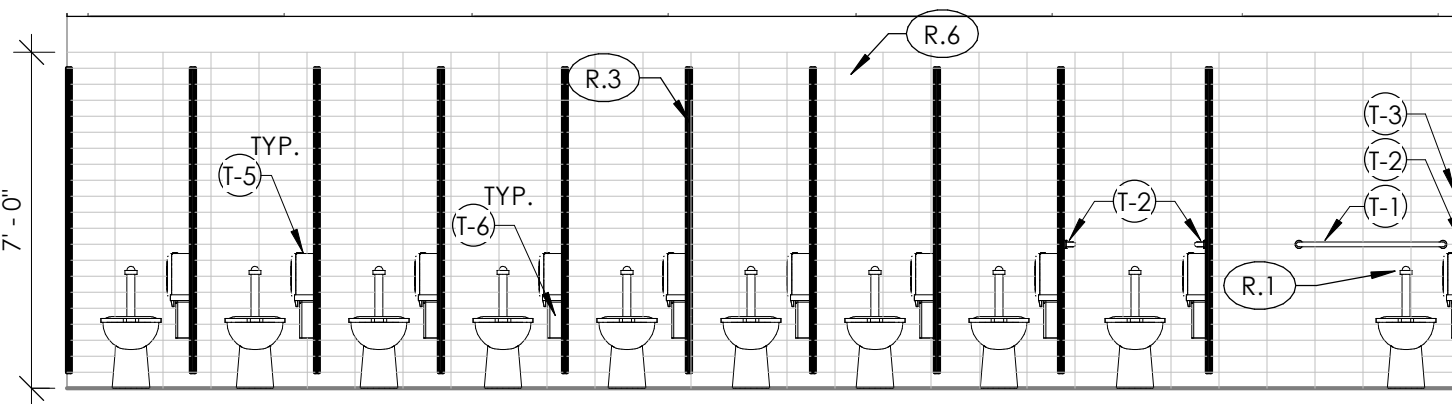
9 RESTROOM ELEVATION
1/4" = 1'-0"



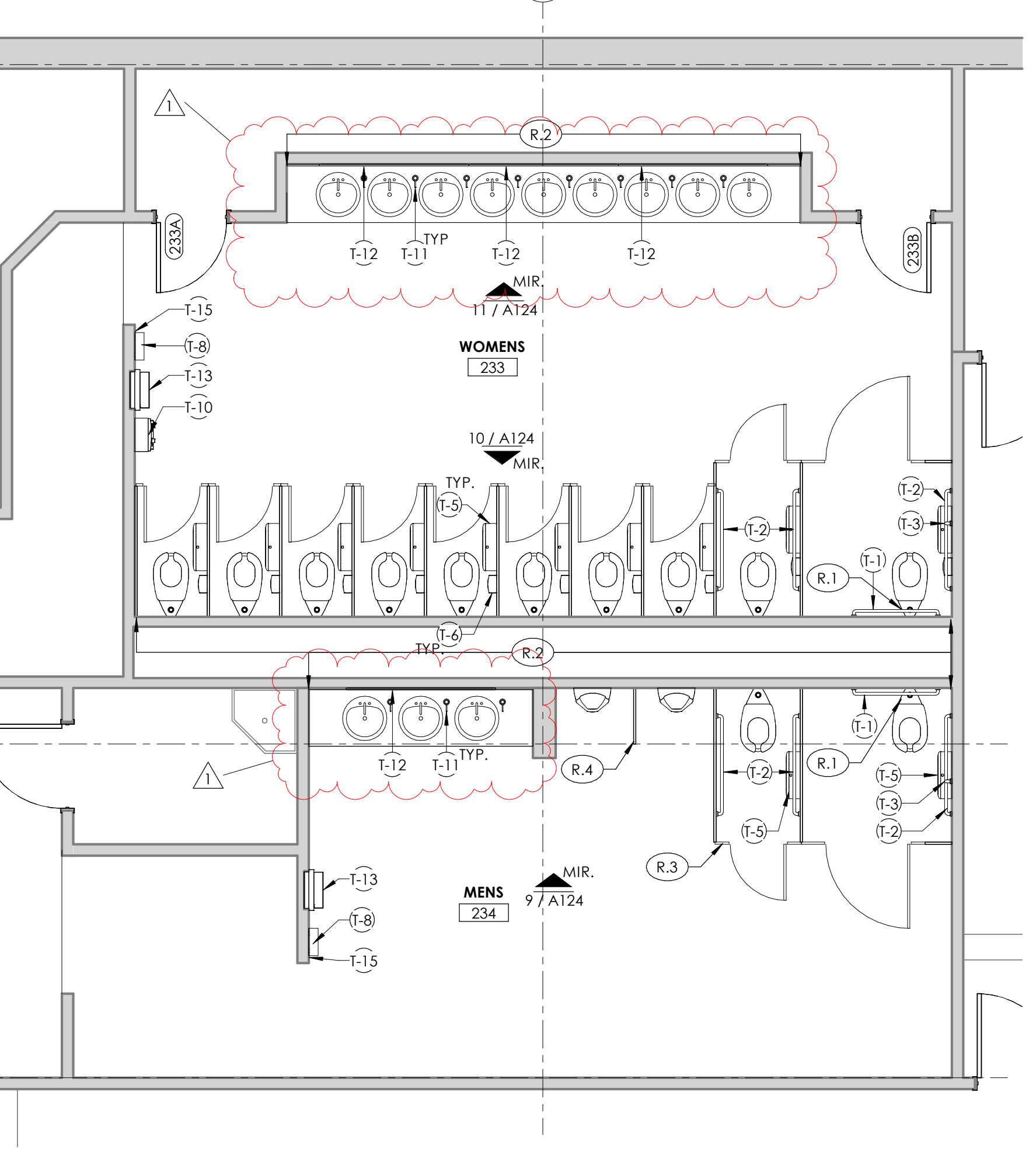
11 RESTROOM ELEVATION
1/4" = 1'-0"



10 RESTROOM ELEVATION
1/4" = 1'-0"



1 ENLARGED RESTROOM PLAN
1/4" = 1'-0"

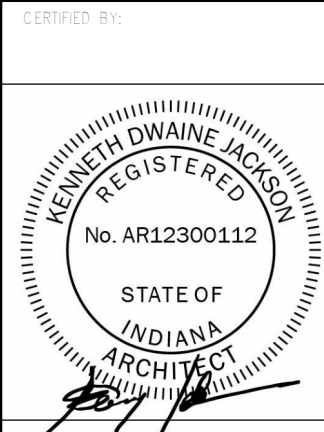


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DESIGN SERVICES
OPERATION & MAINTENANCE SERVICES



ENLARGED FLOOR PLANS
INDIANA DEPARTMENT OF ADMINISTRATION
FSA & DCS
2801 WABASH AVENUE, TERRE HAUTE, IN 47803



BMM
KJ
KJ
As indicated

A124
2024-12-20
0240101-10000

REFLECTED CEILING NOTES

- A. REFER TO REFLECTED CEILING PLAN FOR ADDITIONAL NOTES AND CEILING INFORMATION.
- B. PROVIDE CONTROL JOINTS IN PLASTER & GYPSUM BOARD CEILINGS AND BULKHEADS WHERE RECOMMENDED/REQUIRED BY MANUFACTURERS OR INDUSTRY STANDARDS, OR WHERE INDICATED. COORDINATE LOCATION WITH ARCHITECT.
- C. ALL CEILING HEIGHTS ARE FROM FINISHED FLOOR.
- D. INSTALL SUSPENDED CEILING GRID WITH EQUAL SIZE PANELS AT EACH SIDE OR END OF THE INDIVIDUAL SPACES UNLESS OTHERWISE INDICATED. NO PANEL SHALL BE LESS THAN 4" WIDE.
- E. THE ARCHITECTURAL REFLECTED CEILING PLAN SHALL GOVERN THE LAYOUT OF ALL CEILING ELEMENTS AND/OR PENETRATIONS. COORDINATE ANY FIELD VERIFIED OR AS-BUILT CONDITIONS THAT DIFFER FROM WHAT IS SHOWN ON THESE PLANS WITH THE ARCHITECT.
- F. SIZES AND SHAPES OF LIGHTING FIXTURES AND OTHER MISCELLANEOUS ELECTRICAL EQUIPMENT (IF SHOWN) ARE FOR REFERENCE ONLY. COORDINATE ACTUAL SIZES AND TYPES WITH THE ELECTRICAL DRAWINGS/ENGINEER.
- G. COORDINATE CLEARANCES WITH M.E.P. DRAWINGS. NOTIFY ARCHITECT OF CONFLICTS PRIOR TO CONSTRUCTION.
- H. SIZES OF MECHANICAL EQUIPMENT (IF SHOWN) ARE FOR REFERENCE ONLY. COORDINATE ACTUAL SIZES AND TYPES WITH MECHANICAL DRAWINGS/ENGINEER.
- I. ALL CEILING MOUNTED ITEMS (SPRINKLER HEADS, MOUNTING MECHANISMS, ETC.) SHALL BE CENTERED IN THE CEILING PANELS UNLESS OTHERWISE NOTED/INDICATED.
- J. AT ALL OFFICES, ENCLAVES, CONFERENCE ROOMS, TOILET ROOMS WHERE THE WALLS STOP JUST ABOVE THE CEILING, INSTALL SOUND ATTENUATION BLANKET HORIZONTALLY FOR 3'-0" ON BOTH SIDES OF WALL.
- K. BULKHEAD DIMENSIONS ARE FROM FINISH FACE TO FINISH FACE UNLESS NOTED OTHERWISE.
- L. REFER TO TYPICAL DETAIL WALL SECTIONS FOR CONSTRUCTION OF GYPSUM BOARD CEILINGS.

REFLECTED CEILING PLAN KEYNOTES

- C.1 NOT USED
- C.2 EXISTING GRID TO REMAIN. COORDINATE WITH CONTRACTOR NEW T&G
- C.3 PROVIDE ACOUSTIC BATT ABOVE CEILING

REFLECTED CEILING LEGEND

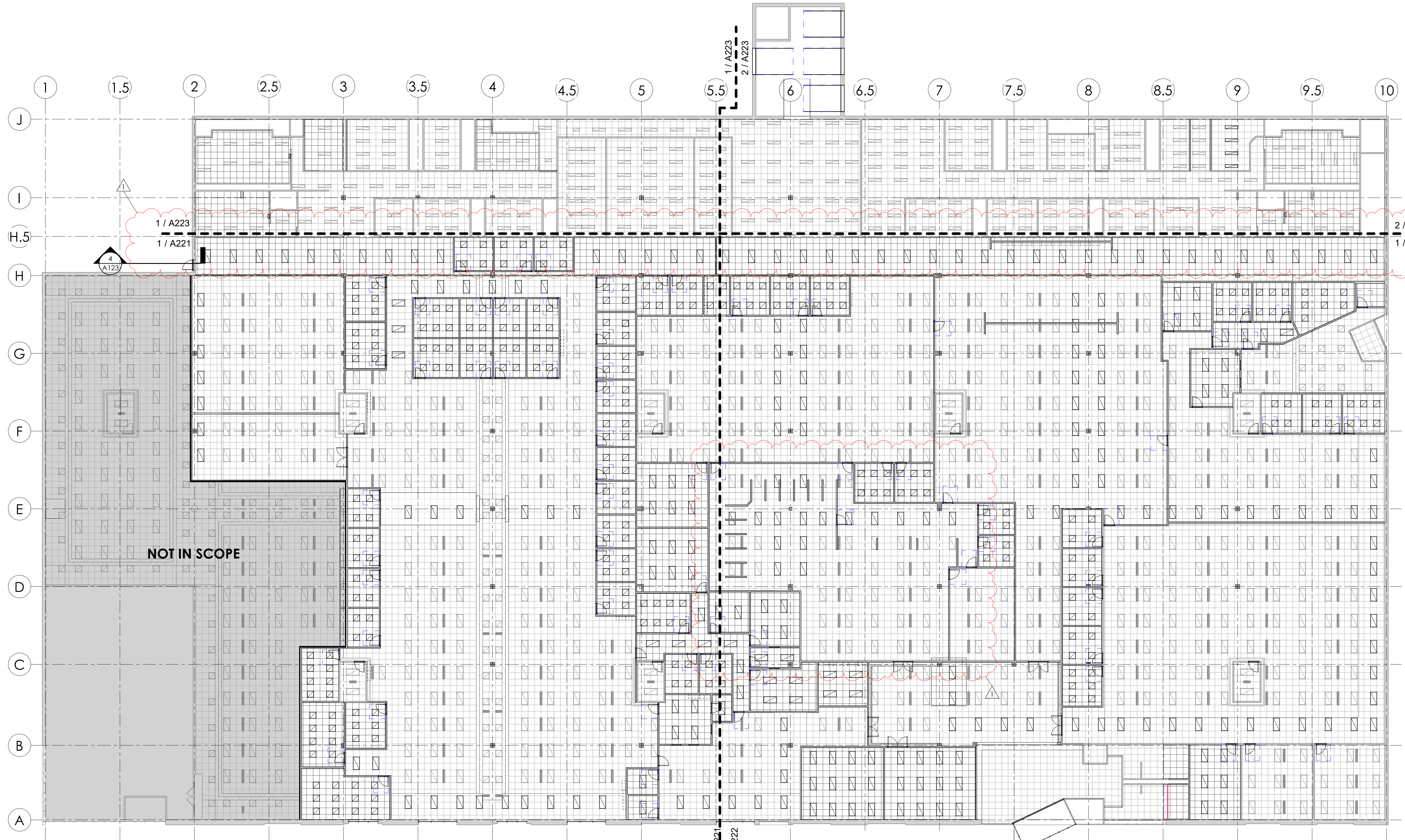
A		GYPSUM BOARD
B		2X2 SUSPENDED ACOUSTICAL CEILING TILE AND GRID SYSTEM
C		EXISTING 2X2 SUSPENDED ACOUSTICAL CEILING TILE AND GRID SYSTEM
D		EXPOSED
E		NOT USED
		INSULATED INSULATED FINISHING SYSTEM
		LIGHT FIXTURES

NEW 2'X4' EXISTING 2'X4' NEW 2'X2' EXISTING 2'X2' NEW CAN

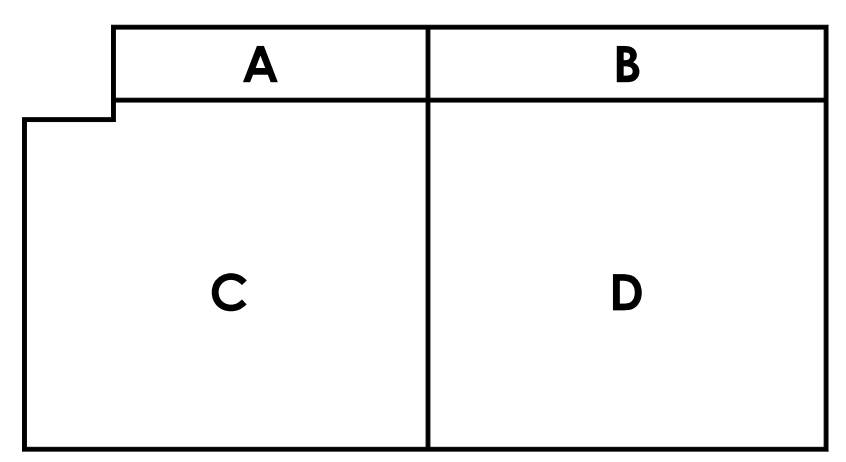
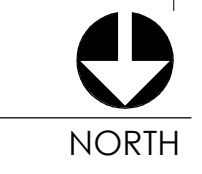
CEILING TYPE

CEILING TAG

CEILING HEIGHT ABOVE FIN FLR AT LOWER LEVEL



1 FIRST FLOOR - REFLECTED CEILING PLAN
1/16" = 1'-0"



KEYPLAN

REVISIONS

NO.	DATE	DESCRIPTION
1	2024.12.24	FOR CONSTRUCTION

CONSULTANTS

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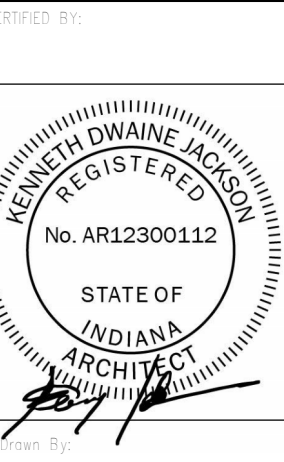


REFLECTED CEILING PLAN

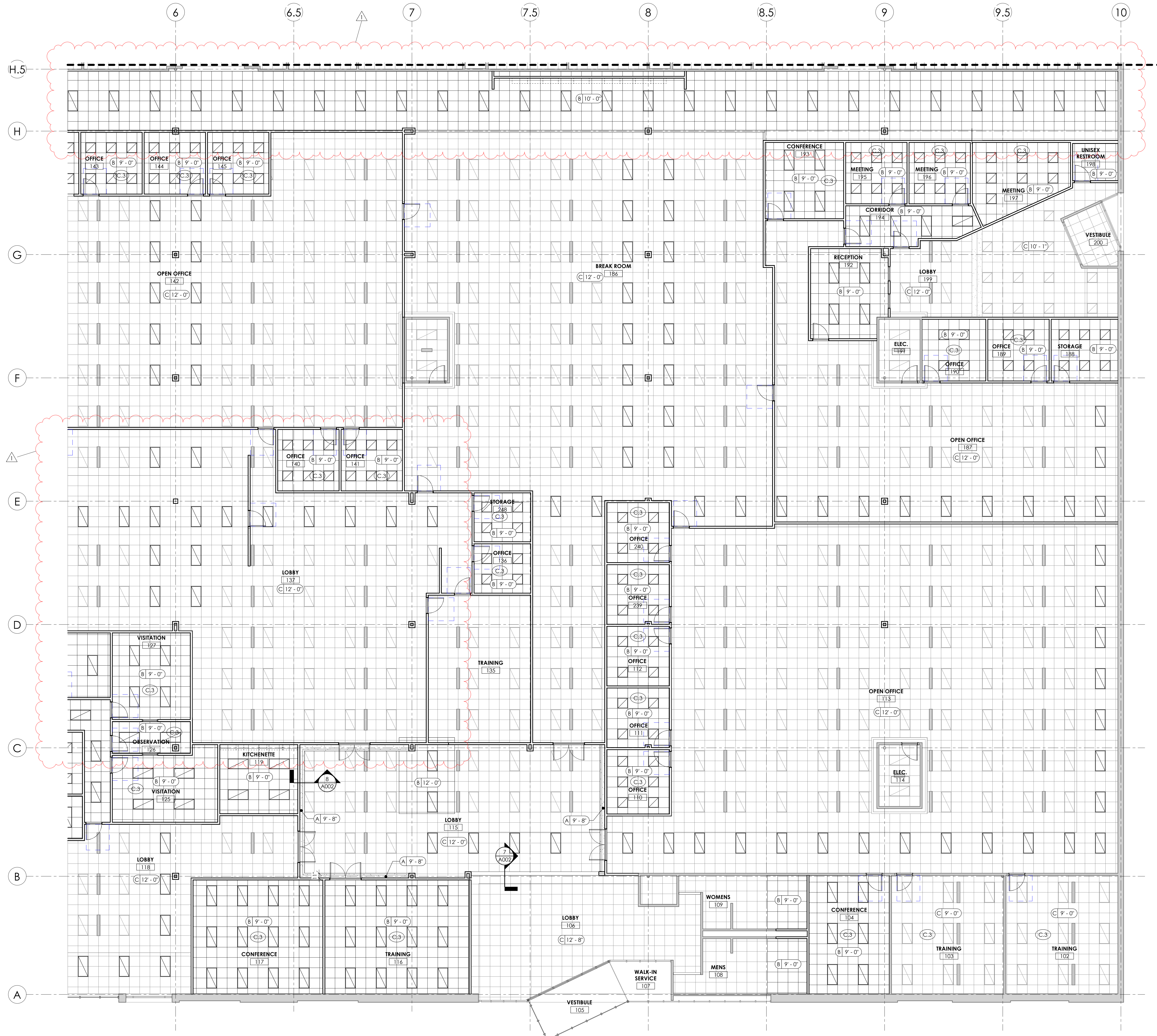
INDIANA DEPARTMENT OF ADMINISTRATION

FSSA & DCS

2801 WABASH AVENUE, TERRE HAUTE, IN 47803



CHECKED BY: BMM
DESIGNED BY: KJ
DATE: As indicated
PROJECT: A201
DATE: 2024-12-20
DRAWING NO: 0240101-10000



1 FIRST FLOOR - REFLECTED CEILING PLAN
1/8" = 1'-0"

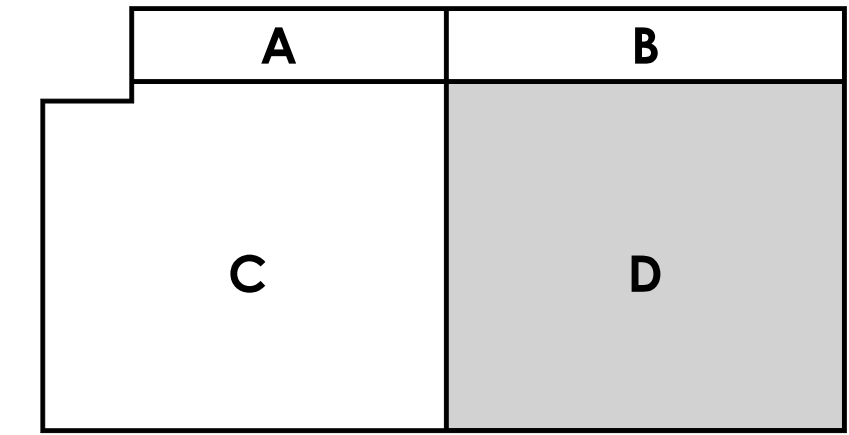


REFLECTED CEILING LEGEND	
A	GYPSUM BOARD
B	2x2 SUSPENDED ACOUSTICAL CEILING TILE AND GRID SYSTEM
C	EXISTING 2x2 SUSPENDED ACOUSTICAL CEILING TILE AND GRID SYSTEM
D	EXPOSED
E	NOT USED / GYPSUM BOARD INSULATED FINISHING SYSTEM
LIGHT FIXTURES NEW 2X4, EXISTING 2X4, NEW 2X2, EXISTING 2X2, NEW CAN, EXISTING CAN	
CEILING TYPE CEILING HEIGHT ABOVE FIN FLP AT LOWER LEVEL	

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- REFLECTED CEILING PLAN KEYNOTES**
- C.1 NOT USED
 - C.2 EXISTING GRID TO REMAIN, COORDINATE WITH CONTRACTOR NEW LAT
 - C.3 PROVIDE ACOUSTIC BATT ABOVE CEILING

NOTE:
EXISTING CEILING TILE TO BE UTILIZED, NEW TILE TO BE COORDINATED BY CONTRACTOR



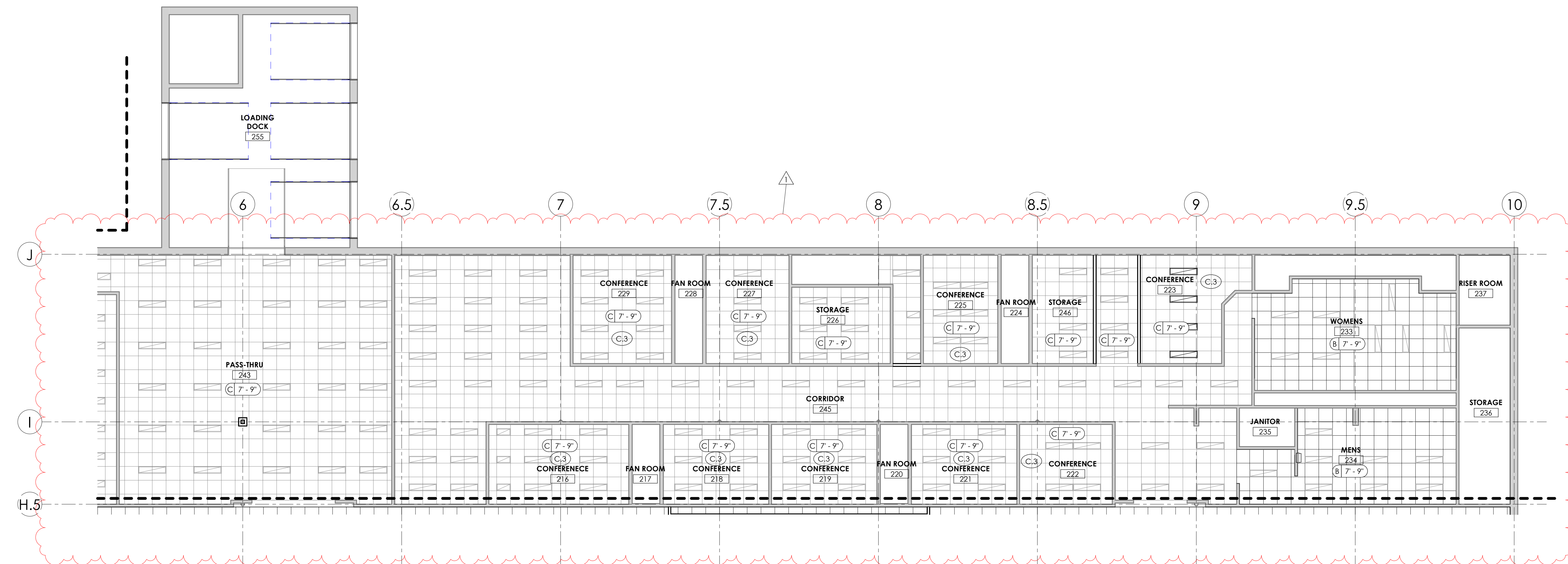
KEYPLAN

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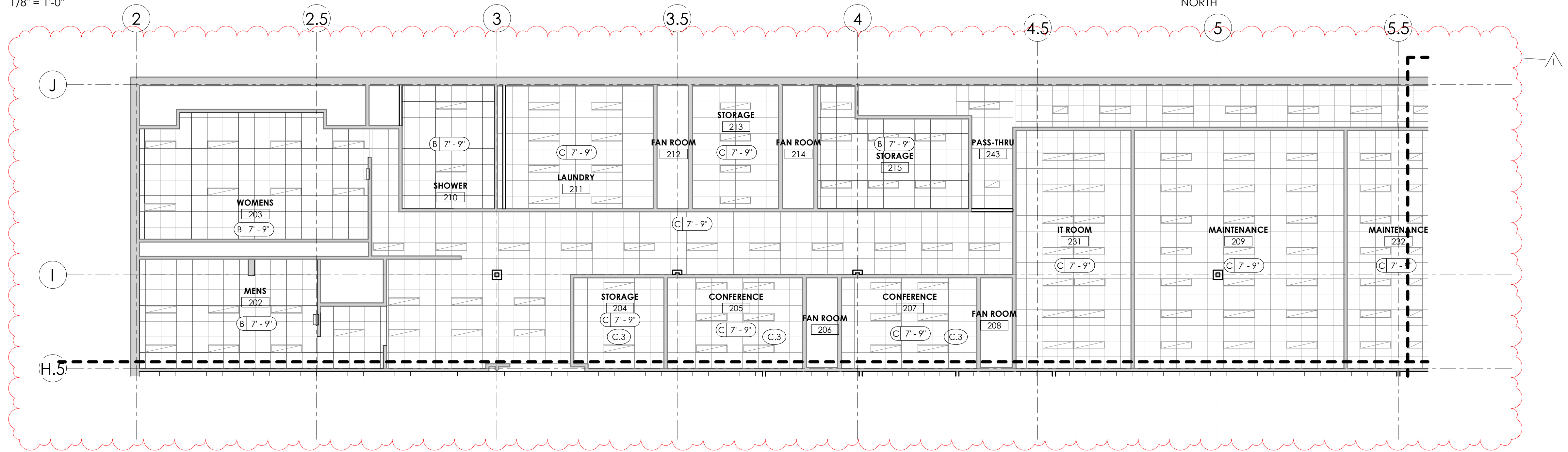
ENLARGED REFLECTED CEILING PLAN - AREA D
 INDIANA DEPARTMENT OF ADMINISTRATION
FSSA & DCS
 2801 WABASH AVENUE, TERRE HAUTE, IN 47803

CERTIFIED BY

 BMM
 KJ
 KJ
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A222
 2024-12-20
 0240101-10000



2 FIRST FLOOR - REFLECTED CEILING PLAN
1/8" = 1'-0"



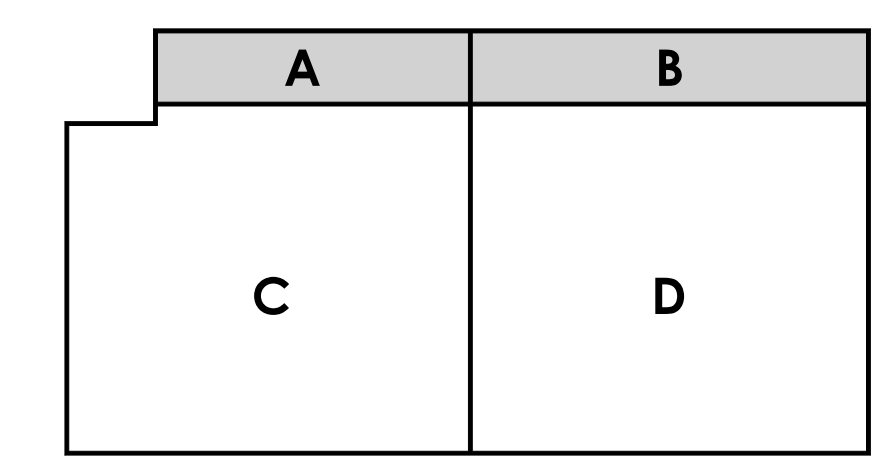
1 FIRST FLOOR - REFLECTED CEILING PLAN
1/8" = 1'-0"

REFLECTED CEILING LEGEND	
A	GYPSUM BOARD
B	2x2 SUSPENDED ACOUSTICAL CEILING TILE AND GRID SYSTEM
C	EXISTING 2x2 SUSPENDED ACOUSTICAL CEILING TILE AND GRID SYSTEM
D	EXPOSED
E	NOT USED / GYPSUM BOARD INSULATED FINISHING SYSTEM
LIGHT FIXTURES	
NEW 2x4 EXISTING 2x4 NEW 2x2 EXISTING 2x2 NEW CAN	
CEILING TYPE	
A 8'-0" CEILING TAG CEILING HEIGHT ABOVE FIN FLR AT LOWER LEVEL	

- REFLECTED CEILING NOTES**
- REFER TO REFLECTED CEILING PLAN FOR ADDITIONAL NOTES AND CEILING INFORMATION.
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- REFLECTED CEILING PLAN KEYNOTES**
- C.1 NOT USED
 - C.2 EXISTING GRID TO REMAIN. COORDINATE WITH CONTRACTOR NEW LAT
 - C.3 PROVIDE ACOUSTIC BATT ABOVE CEILING

NOTE:
EXISTING CEILING TILE TO BE UTILIZED, NEW TILE TO BE COORDINATED BY CONTRACTOR



KEYPLAN

REVISION NUMBER REVISION DATE REVISION DESCRIPTION
 2024.01.24 For Construction

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 ELECTRICAL ENGINEERING
 ENVIRONMENTAL ENGINEERING
 SOLUTIONS BY DESIGN SINCE 1937

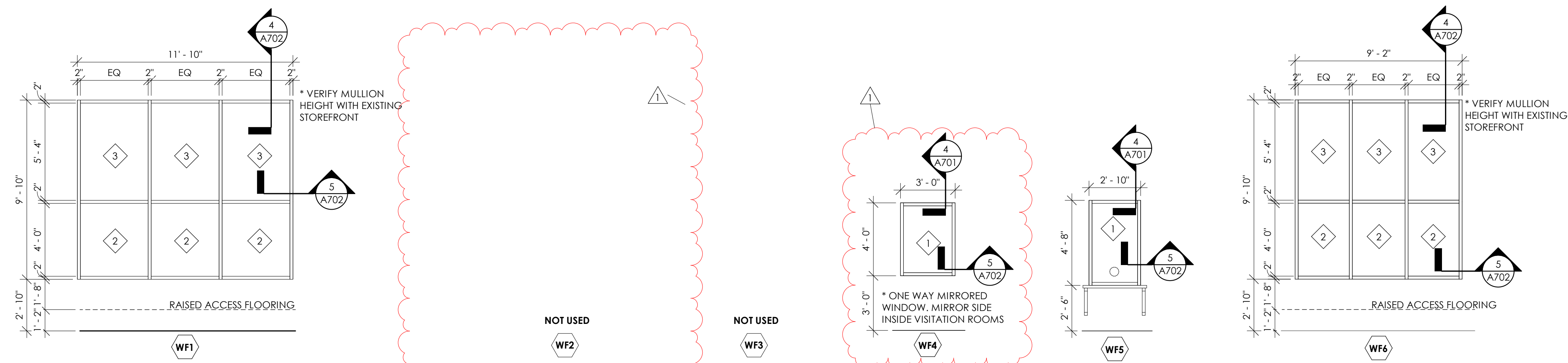
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 Solutions by Design Since 1937

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 2801 WABASH AVENUE, TERRE HAUTE, IN 47803

CERTIFIED BY:

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FRAME ELEVATIONS

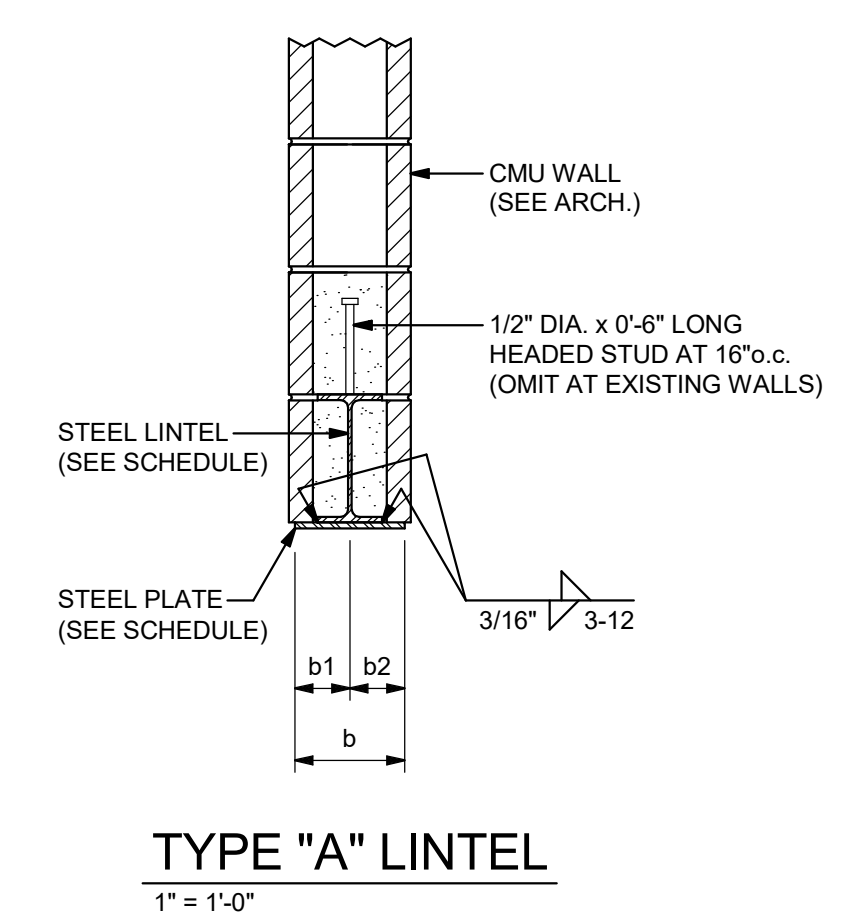
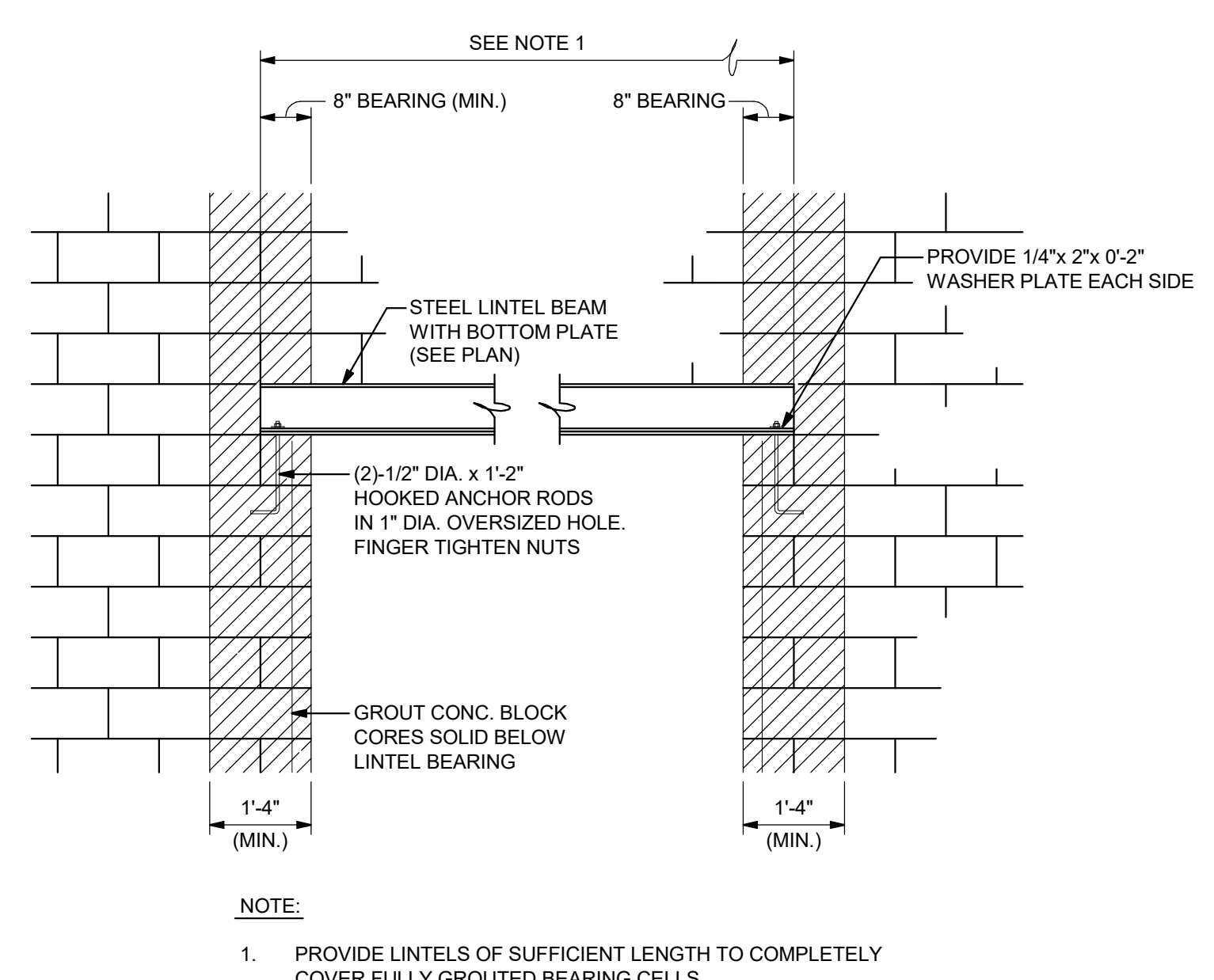
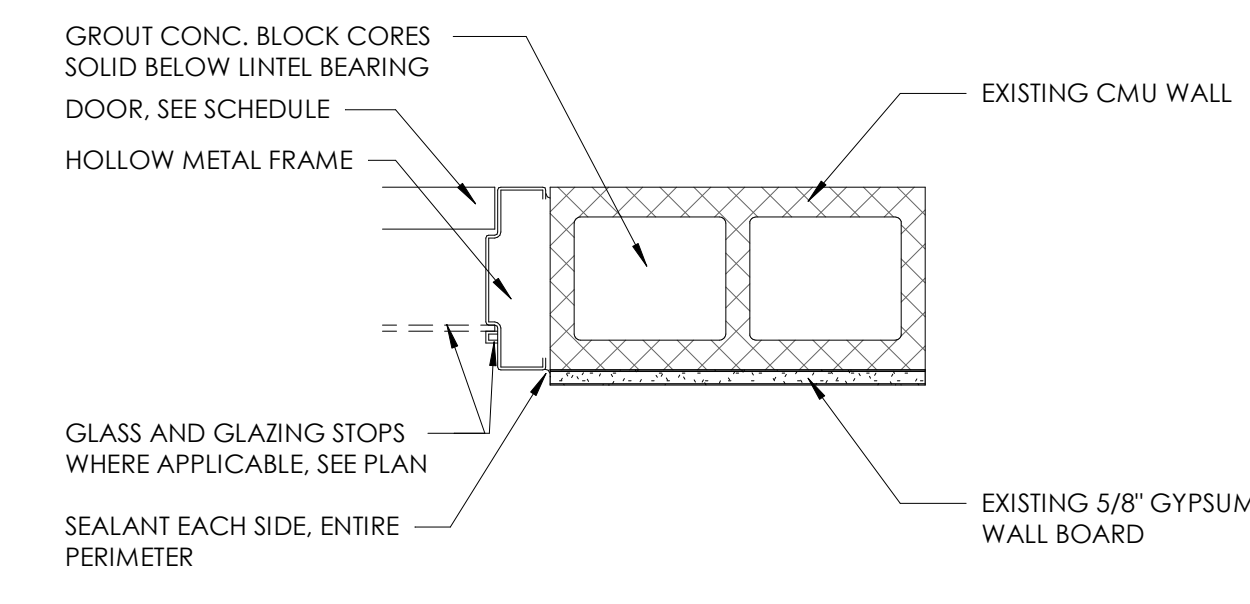
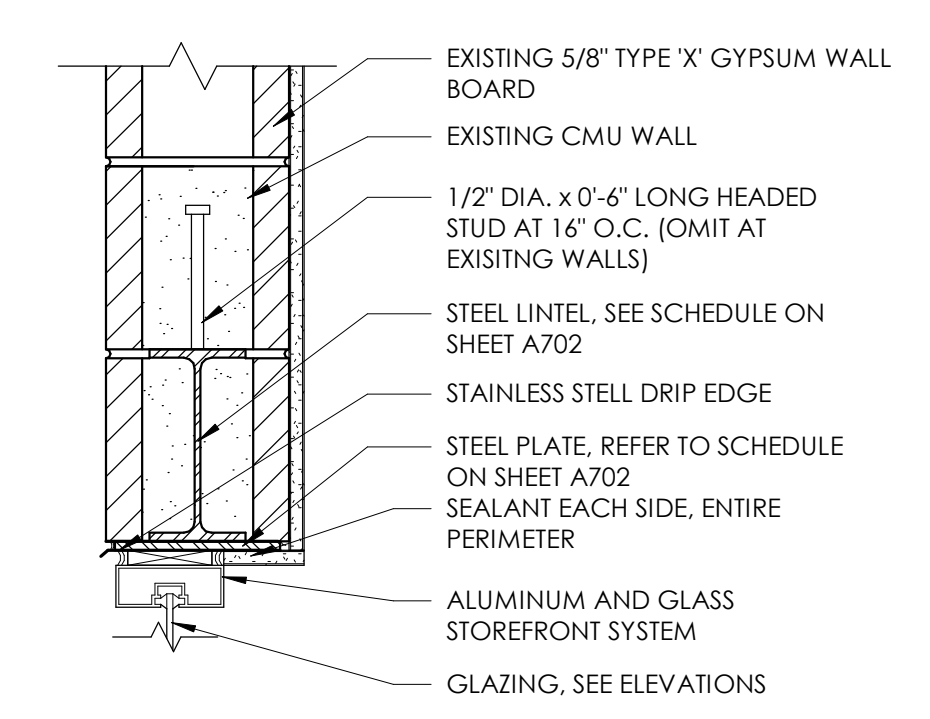
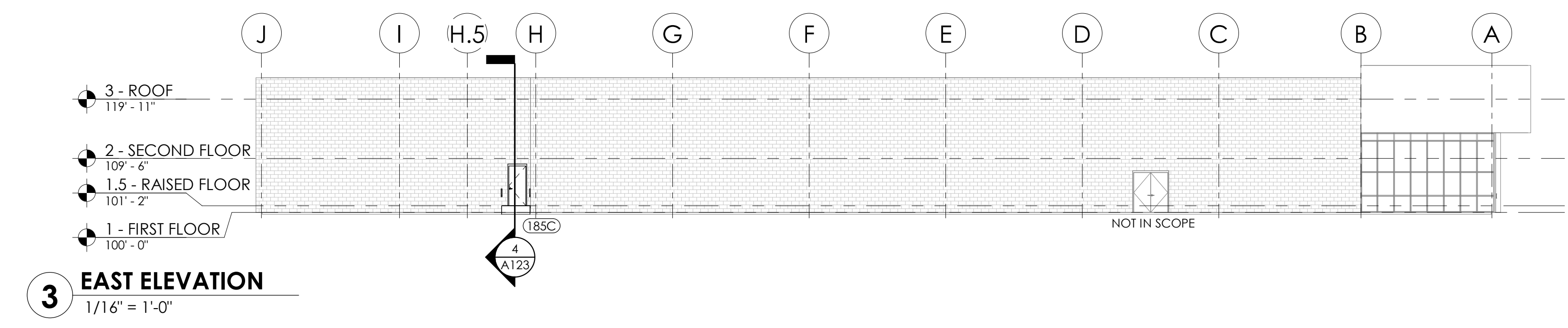
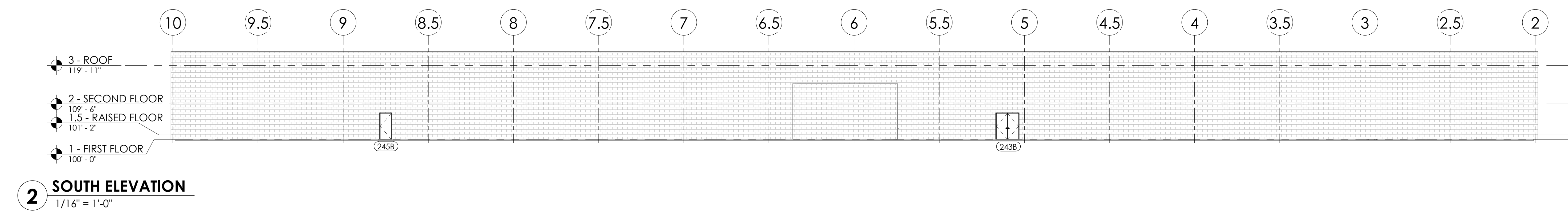
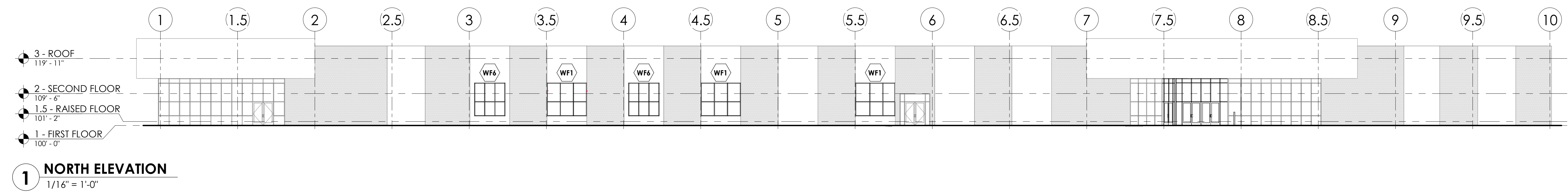


GLAZING LEGEND

- 1/4" FULLY TEMPERED CLEAR FLOAT GLASS
- 1" CLEAR INSULATING GLASS WITH LOW-E COATING, FULLY TEMPERED
- 1" CLEAR INSULATING GLASS WITH LOW-E COATING

** REFER TO PROJECT MANUAL FOR COMPLETE GLAZING SPECIFICATION

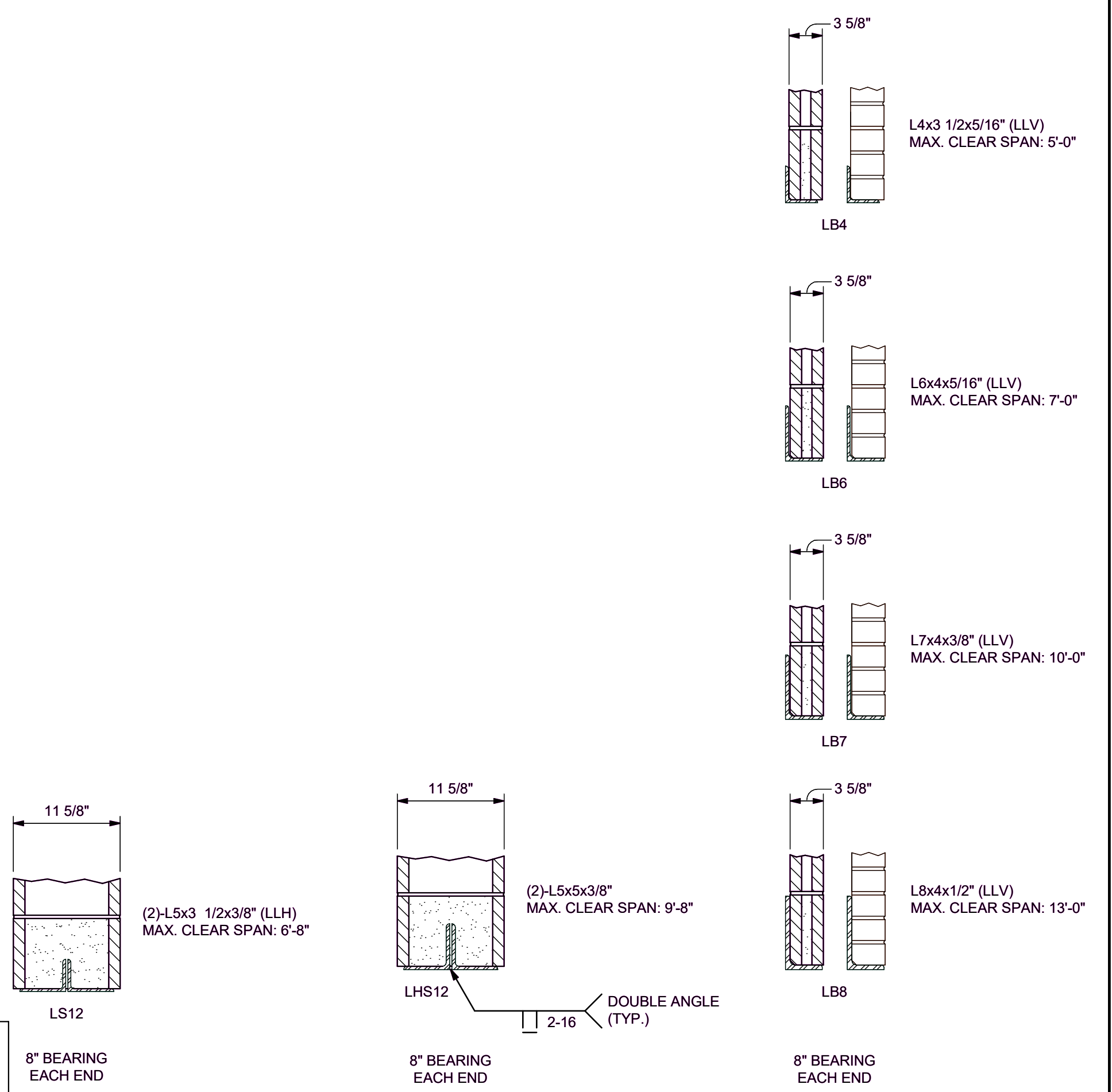
** CONTRACTOR TO PROVIDE FULLY TEMPERED LITES IN ALL LOCATIONS REQUIRED BY CODE INCLUDING BATHROOMS AND WITHIN 30' OF FLOOR



EXISTING WALL OPENINGS STEEL BEAM LINTEL SCHEDULE

MAX OPENING WIDTH	SIZE	CONTINUOUS PLATE				TYPE	REMARKS
		t	b	b1	b2		
12'-0"	W8x18	3/8"	7"	3 1/2"	3 1/2"	A	

- NOTES:**
- INSTALL TEMPORARY LINTEL PRIOR TO CUTTING OPENING IN EXISTING WALL. SEE TYPICAL TEMPORARY LINTEL IN EXISTING MASONRY WALL DETAIL. NEW STEEL LINTELS SHALL BEAR ON A FULLY GROUTED CORE FULL HEIGHT.
 - ALL LINTELS AT EXTERIOR LOCATIONS OR OTHERWISE SUBJECT TO WEATHER OR CORROSIVE ATMOSPHERE SHALL BE GALVANIZED.
 - PLATE LENGTH TO BE MASONRY OPENING MINUS 1/4" EA END (1/2" TOTAL).
 - SEE STEEL BEAM LINTEL BEARING DETAIL FOR ADDITIONAL INFORMATION.
 - SEE ARCHITECTURAL DRAWINGS FOR LINTEL ELEVATIONS.



- NOTES:**
- LINTELS SHALL BEAR ON BRICK OR SOLID CONCRETE MASONRY THAT IS FULLY GROUTED BELOW THE BEARING POINT. PROVIDE A MINIMUM OF 8" OF BEARING WIDTH AT EACH END OF THE LINTEL. PROVIDE A MINIMUM OF 12" OF BEARING WIDTH AT EACH END OF THE LINTEL FOR SPANS OF 10'-0" OR LARGER.
 - FURNISH AND INSTALL ALL LOOSE LINTELS REQUIRED FOR ALL OPENINGS IN MASONRY, INCLUDING MECHANICAL AND ELECTRICAL WORK, WHETHER SPECIFICALLY NOTED ON DRAWINGS OR NOT.
 - ALL LINTELS AT EXTERIOR LOCATIONS OR OTHERWISE SUBJECT TO WEATHER OR CORROSIVE ATMOSPHERE SHALL BE GALVANIZED.
 - TYPICAL STEEL ANGLE LINTELS SHOWN ARE FOR USE IN NON-LOAD BEARING WALLS ONLY UNLESS SPECIFICALLY DETAILED OTHERWISE ON THE PLANS.
 - MAXIMUM CLEAR SPANS SHOWN APPLY ONLY TO NON-LOAD BEARING WALLS THAT ARE NOT GROUTED AND ARE CONSTRUCTED IN RUNNING BOND OR ARE CONSTRUCTED IN STACKED BOND WHERE THE HEIGHT OF WALL ABOVE THE LINTEL IS LESS THAN OR EQUAL TO 1/2 OF THE LINTEL CLEAR SPAN. CONTACT THE ENGINEER FOR OTHER CASES WHERE LINTELS ARE NOT SPECIFIED ON THE PLANS.
 - MAXIMUM CLEAR SPAN IS DEFINED AS THE CLEAR OPENING WIDTH BETWEEN GROUTED CELLS BELOW THE LINTEL.
 - SEE ARCHITECTURAL DRAWINGS FOR LINTEL ELEVATIONS.

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WINDOW SCHEDULE AND DETAILS
INDIANA DEPARTMENT OF ADMINISTRATION
FSS & DCS
2801 WABASH AVENUE, TERRE HAUTE, IN 47803

Professional Engineer
No. AR12300112
STATE OF INDIANA
ARCHITECT
BMM
KJ
As indicated
A702
2024-12-20
0240101-10000

INTERIOR ELEVATION KEYNOTES

- 11 PROVIDE BLOCKING FOR CABINETS
- 12 COORDINATE ALL MEP. REFER TO MEP SHEETS FOR LOCATIONS. IF ANY MAJOR DISCREPANCIES NOTIFY ARCHITECT AND MEP ENGINEER

INTERIOR FINISH GENERAL NOTES

1. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, LOCATIONS, AND MATERIAL QUANTITIES PRIOR TO STARTING WORK AND PURCHASING MATERIALS. REPORT ANY DISCREPANCIES TO DESIGNER / ARCHITECT.
2. CONTRACTOR SHALL COMPLY WITH ALL MANUFACTURER'S INSTALLATION METHODS AND SHALL NOT EXECUTE WORK WITHOUT VERIFICATION OF FIELD CONDITIONS.
3. REFERENCE ROOM FINISH SPECIFICATIONS FOR MATERIAL TYPE AND ADDITIONAL INFORMATION.
4. CONTRACTOR IS RESPONSIBLE TO PROVIDE AND FOR PLACEMENT OF ALL FLOOR FINISH TRANSITIONS BETWEEN MATERIALS.
5. REFERENCE FLOOR FINISH PLAN FOR DIMENSIONS, DIRECTION OF INSTALLATION AND/OR GRAIN PATTERN.
6. REFERENCE ARCHITECTURAL FLOOR PLANS FOR LOCATION OF FULL HEIGHT SURFACE MOUNTED CORNER GUARDS.
7. PAINT ALL HOLLOW METAL DOOR FRAMES PT-5, UNLESS NOTED OTHERWISE. FINISH: SEMI-GLOSS.
8. LOOSE FURNITURE AND OTHER LOOSE EQUIPMENT ITEMS INDICATED ON THIS DRAWING ARE OWNER PROVIDED, NOT IN CONTRACT (N.I.C.) UNLESS NOTED OTHERWISE.
9. CASEWORK/MILLWORK INSTALLER IS RESPONSIBLE TO COORDINATE INSTALLATION IN FIELD OF MEP DIVISION 15 / 16 ITEMS INCLUDING CUT-OUTS IN CASEWORK OR COUNTERTOPS.
10. MOUNT TOP OF WALL CABINETS @ 7'-2" A.F.F., UNLESS NOTED OTHERWISE.
11. PROVIDE RESILIENT COVE BASE AT FIXED CASEWORK AND SUPPORTS UNLESS NOTED OTHERWISE.
12. ALL APPLIANCES (EX. REFRIGERATORS, DISHWASHERS, MICROWAVES, ETC.) ARE OWNER PROVIDED, (N.I.C.) COORDINATE ROUGH OPENING SIZES AND LOCATIONS WITH MEP DIVISION 15 / 16.
13. CONTRACTOR IS TO PROVIDE FLOORING TRANSITION AT EVERY VCT TO CARPET TRANSITION LOCATIONS.
14. PAINT BULKHEADS AS NOTED ON ROOM FINISH SCHEDULE.
15. PAINT GRILLES, EXPOSED CONDUIT, AND LIKE PRODUCT TO MATCH ADJACENT WALL COLOR UNLESS NOTED OTHERWISE.
16. REFERENCE REFLECTED CEILING PLAN FOR CEILING HEIGHTS, EXTENT OF BULKHEADS, AND ANY SPECIAL PAINT COLOR DESIGNATIONS.
17. PROVIDE FLAT FINISH PAINT FOR CEILING. SATIN / EGGSHELL FINISH PAINT AT WALLS UNLESS NOTED OTHERWISE.
18. NEW MANUFACTURED VENEER WOOD FACTORY FINISHED DOORS TO BE STAINED ST-1 UNLESS NOTED OTHERWISE.
19. PROVIDE HOLD DOWN CLIPS FOR CEILING GRID. REFERENCE REFLECTED CEILING PLAN.
20. REFERENCE FINISH PLAN FOR FLOOR PATTERN AND WALL FINISH EXTENTS PER PLAN.
21. PROVIDE PVC EDGE AT COUNTERS AND BOX CABINETS. REFERENCE CASEWORK ELEVATIONS AND DETAILS.

REVISION NUMBER	REVISION DATE	REVISION DESCRIPTION
2025.01.24	2025.01.24	FOR CONSTRUCTION

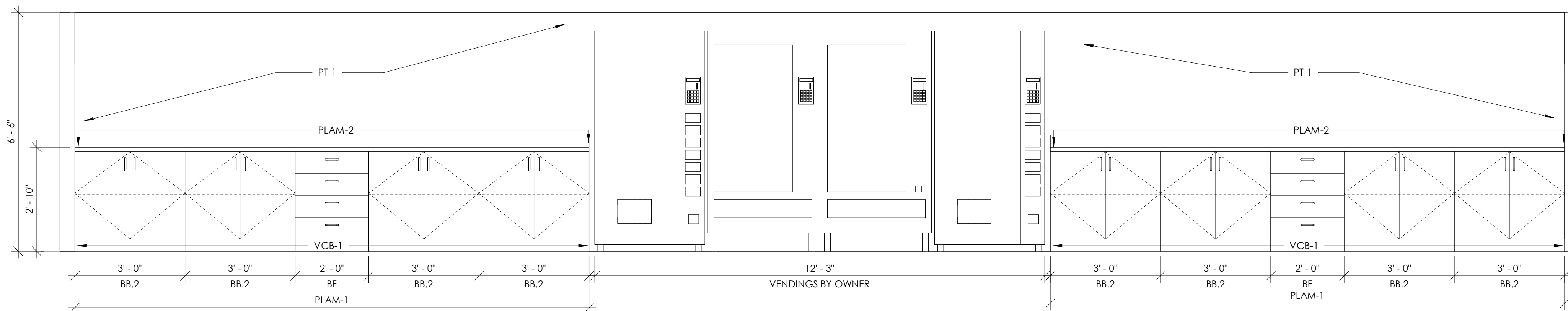
CONSULTANTS

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 E-Mail: cripes@cripe.biz
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 MECHANICAL ENGINEERS
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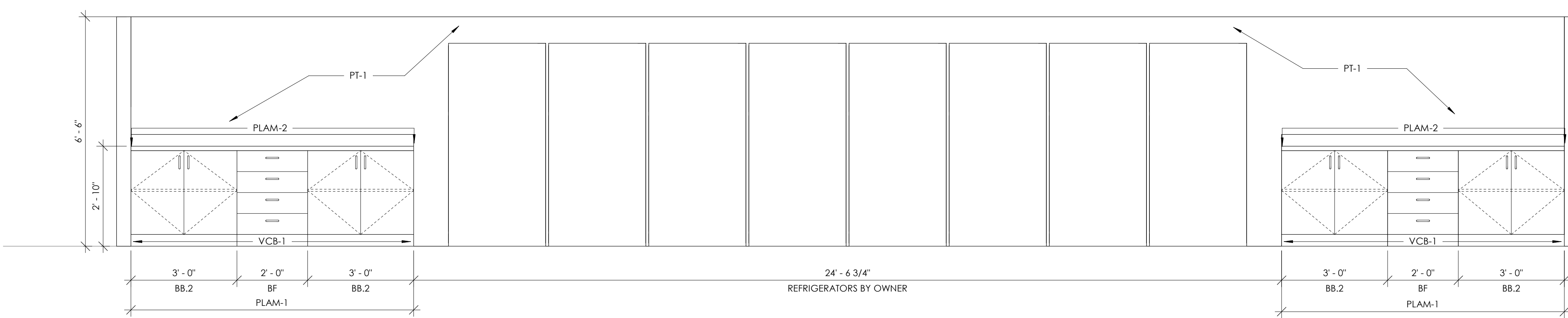


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FSA & DCS
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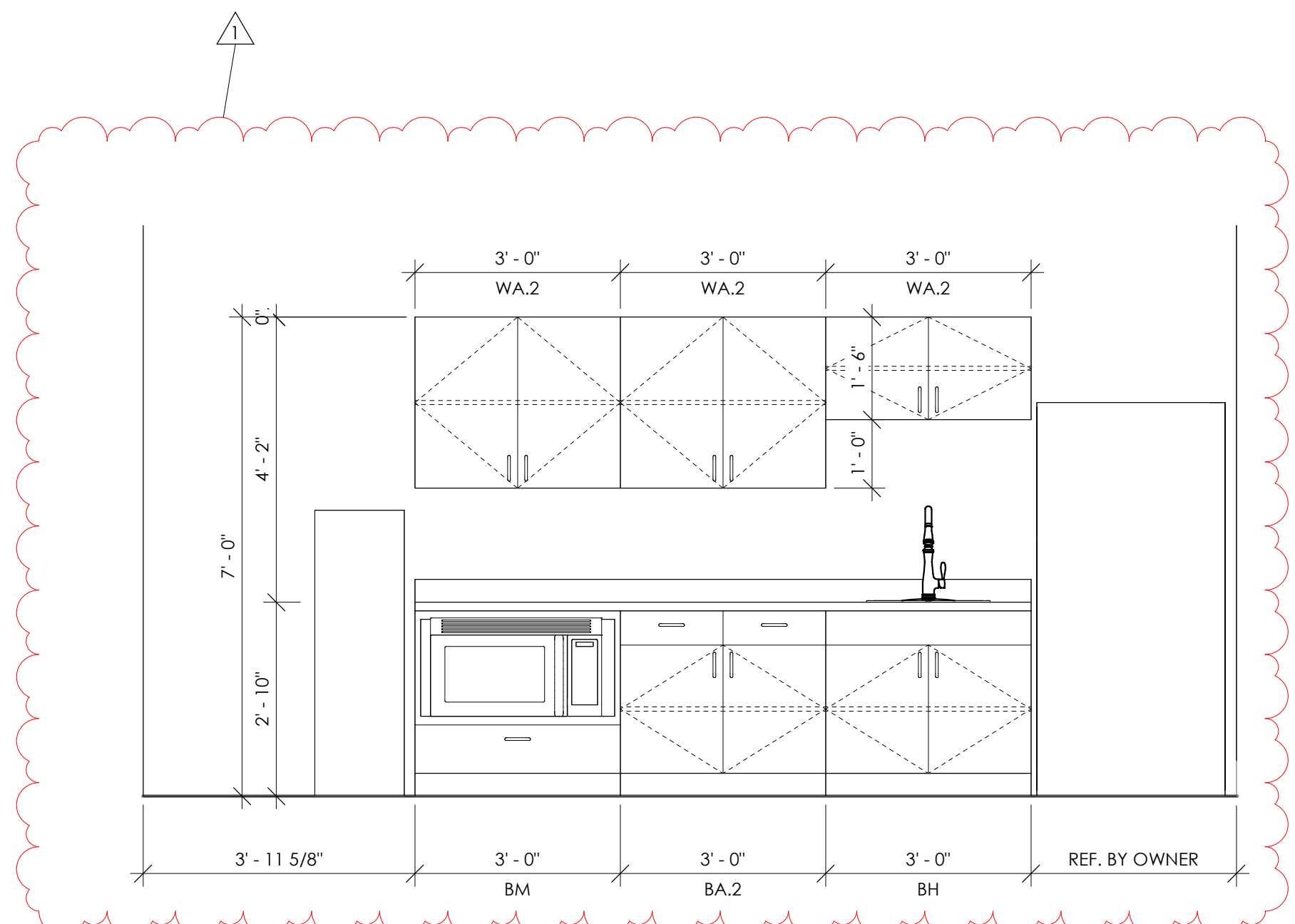
DESIGNED BY: **BMM**
 DRAWN BY: **KJ**
 CHECKED BY: **KJ**
 DATE: 2024-12-20
 SCALE: 1/2" = 1'-0"
A801
 0240101-10000



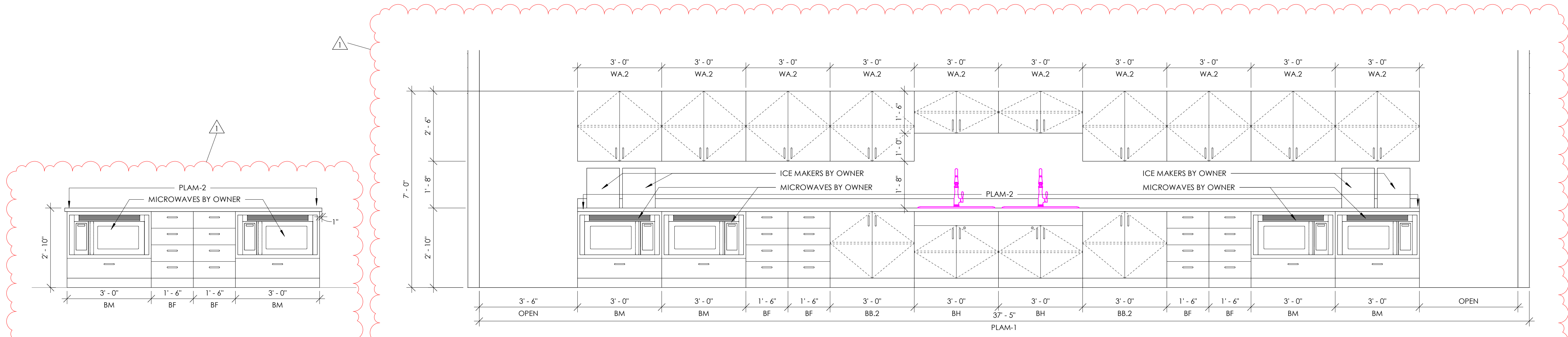
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 1/2" = 1'-0"



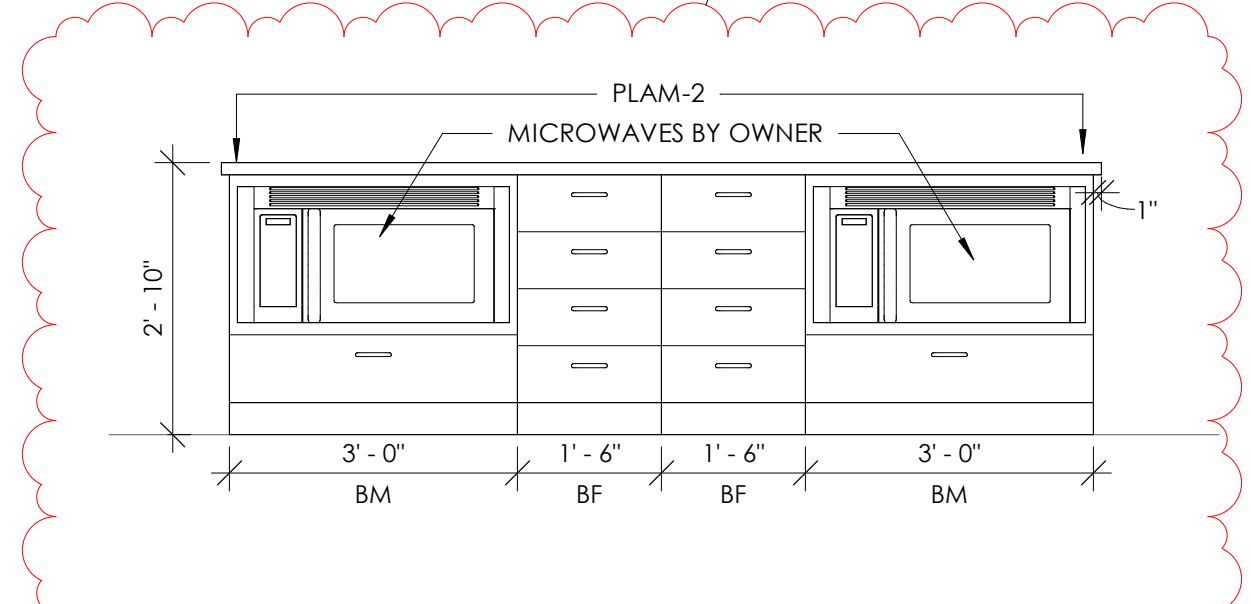
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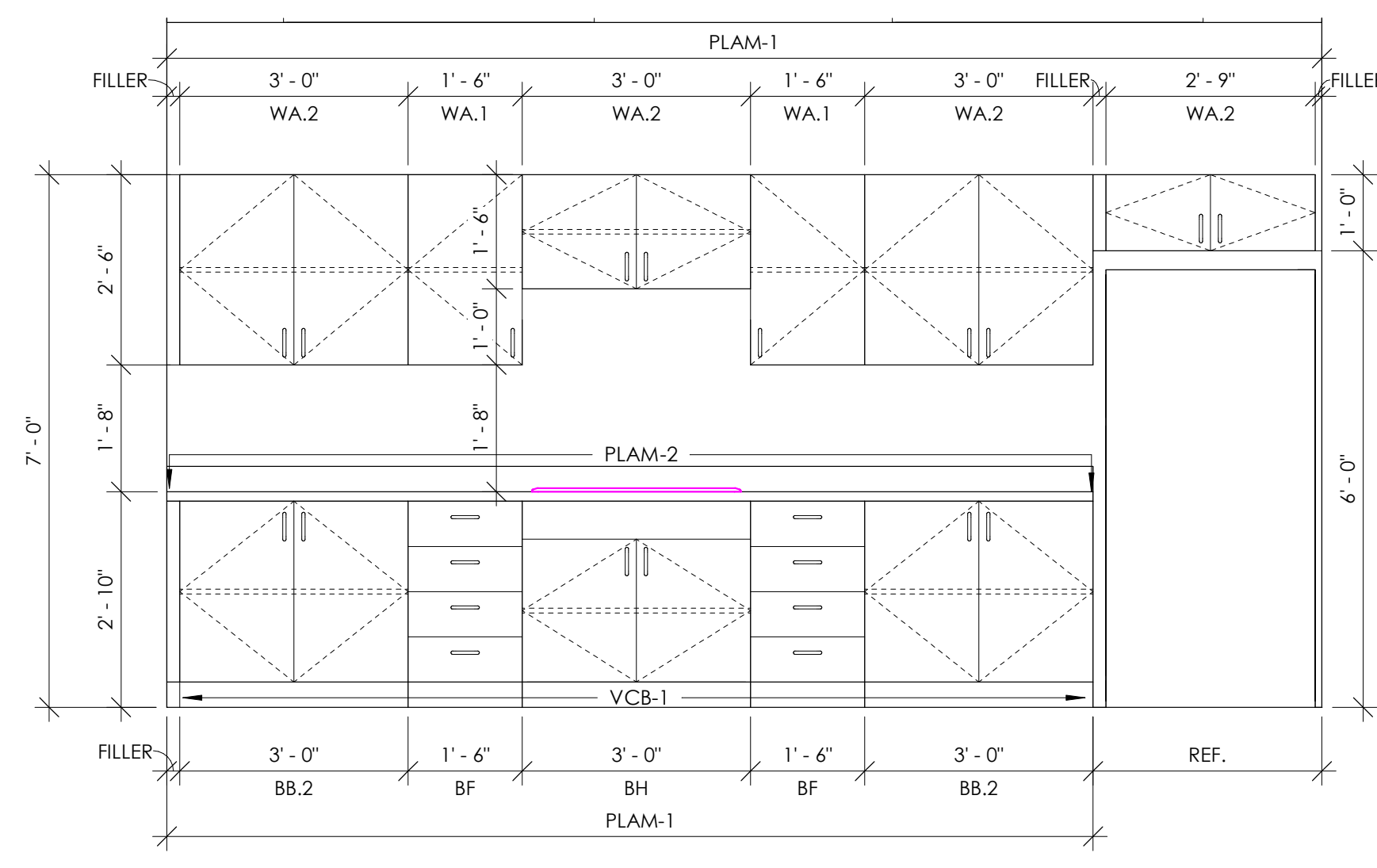
6 COFFEE BAR ELEVATION
 1/2" = 1'-0"



2 Breakroom Elevation
 1/2" = 1'-0"



4 Breakroom Elevation
 1/2" = 1'-0"



1 Kitchenette Elevation
 1/2" = 1'-0"

INTERIOR ELEVATION KEYNOTES

- 11 PROVIDE BLOCKING FOR CABINETS
- 12 COORDINATE ALL MEP. REFER TO MEP SHEETS FOR LOCATIONS. IF ANY MAJOR DISCREPANCIES NOTIFY ARCHITECT AND MEP ENGINEER

ELEVATION NUMBER	ELEVATION NAME	ELEVATION DATE	DESCRIPTION

CONSULTANTS

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INTERIOR ELEVATIONS
 INDIANA DEPARTMENT OF ADMINISTRATION
FSSA & DCS
 2801 WABASH AVENUE, TERRE HAUTE, IN 47803

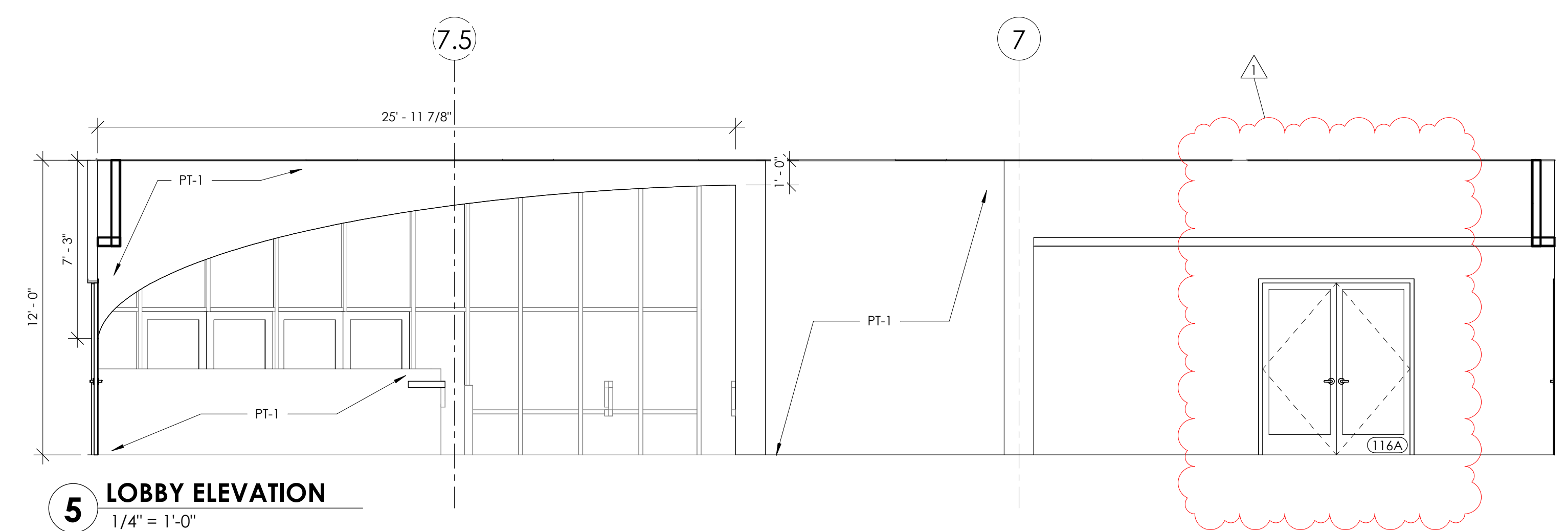
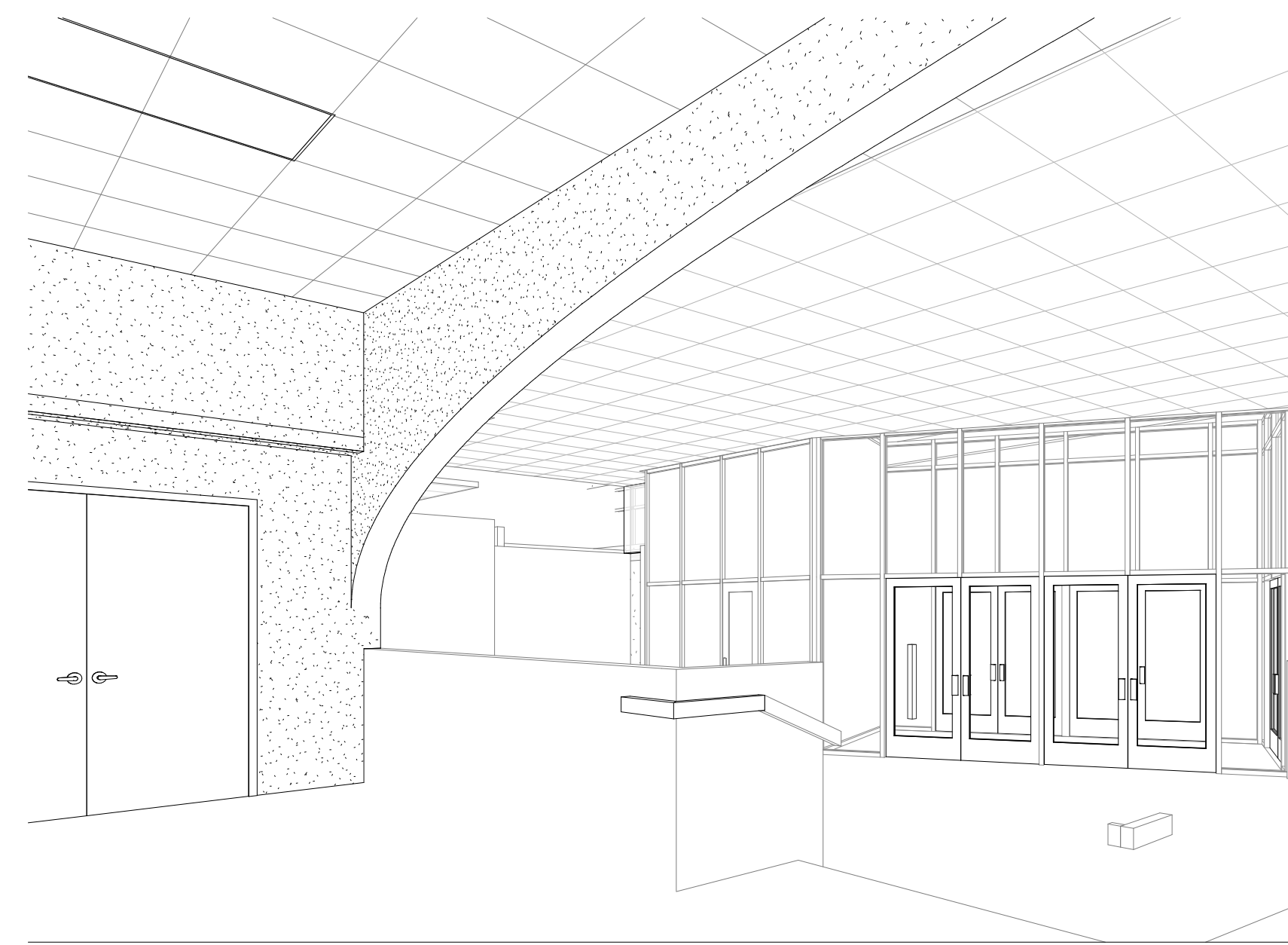
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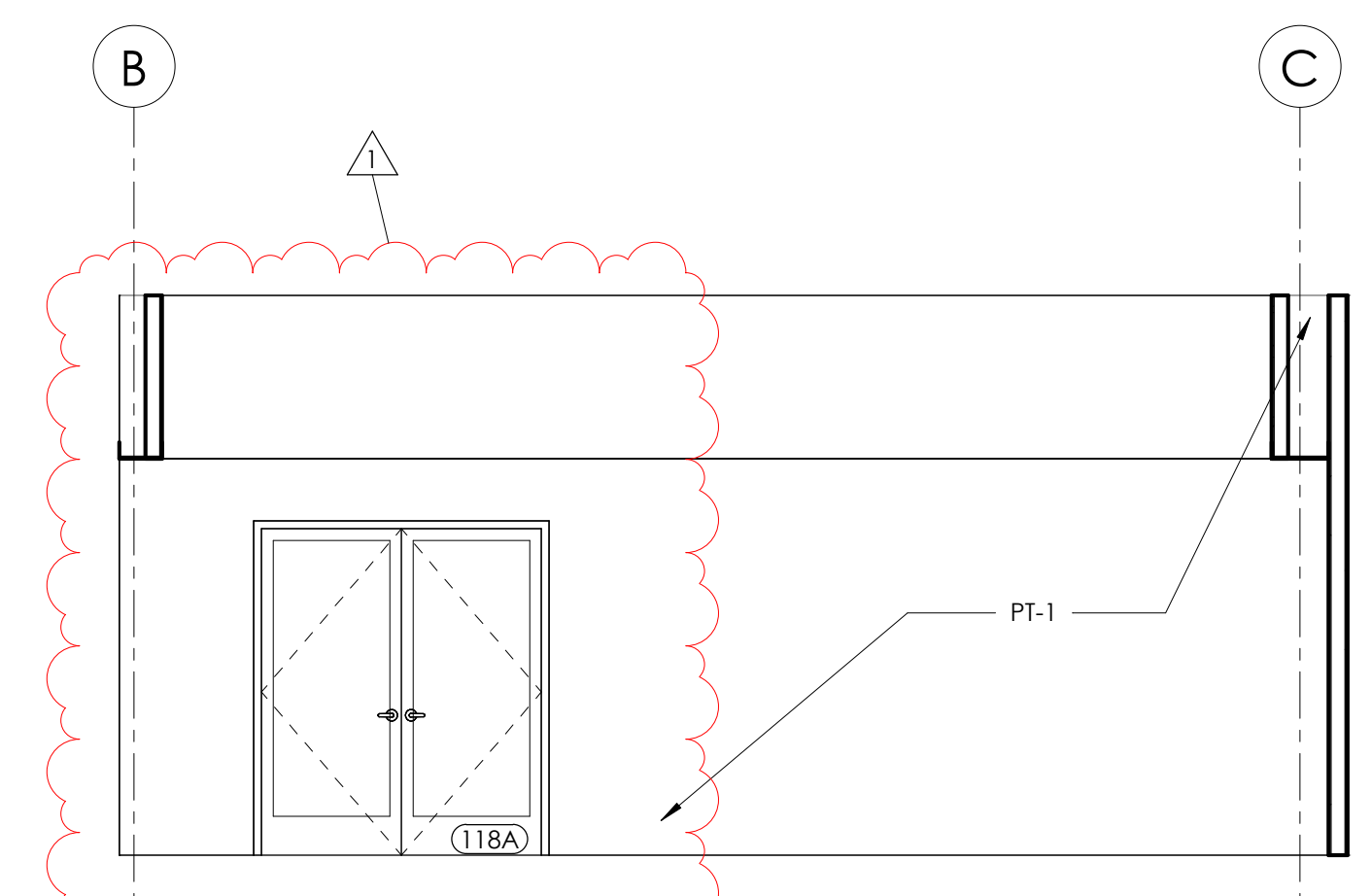
BMM
 KJ
 KJ
 1/4" = 1'-0"

A802

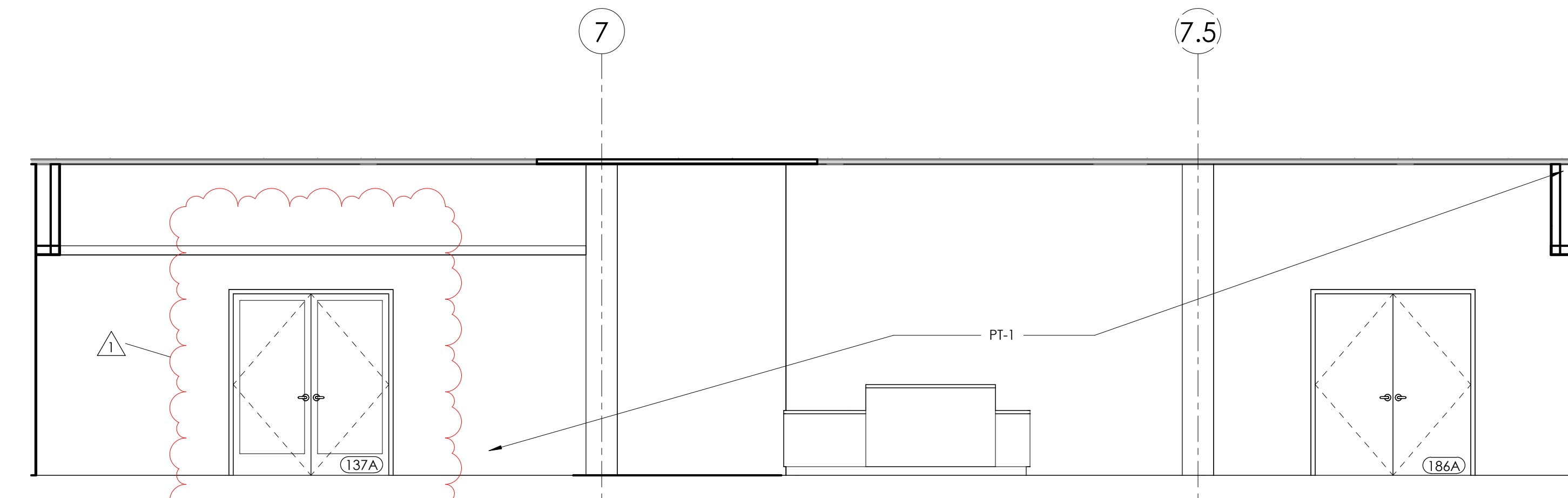
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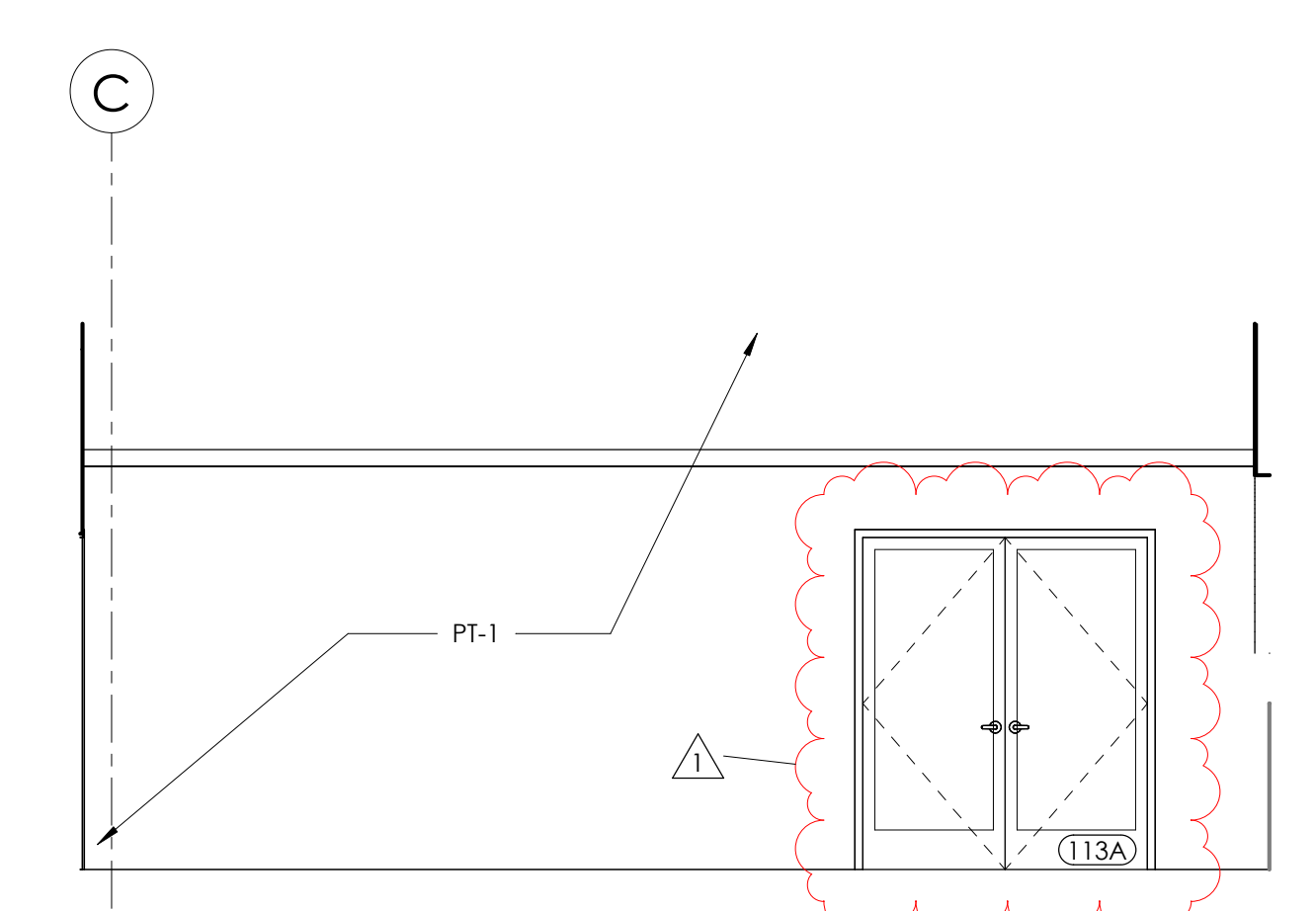
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 1/4" = 1'-0"



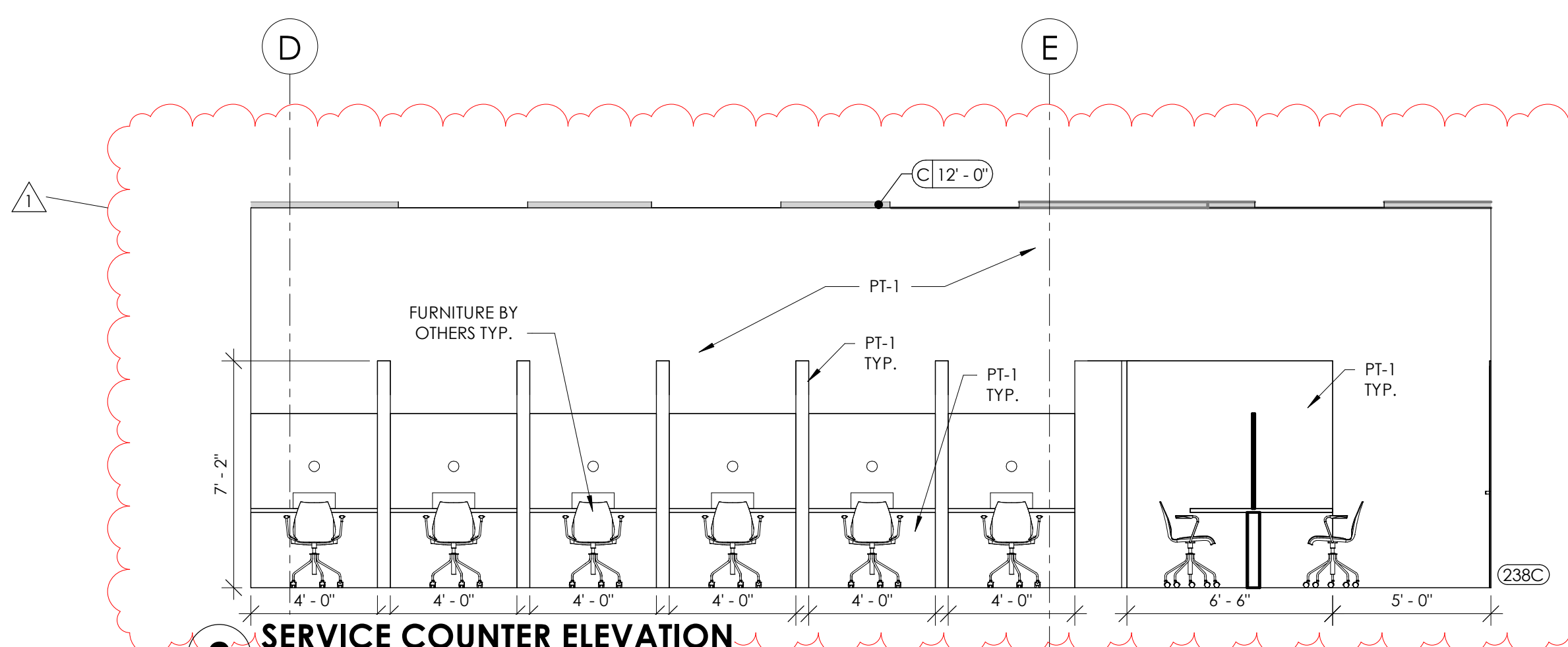
7 LOBBY ELEVATION
 1/4" = 1'-0"



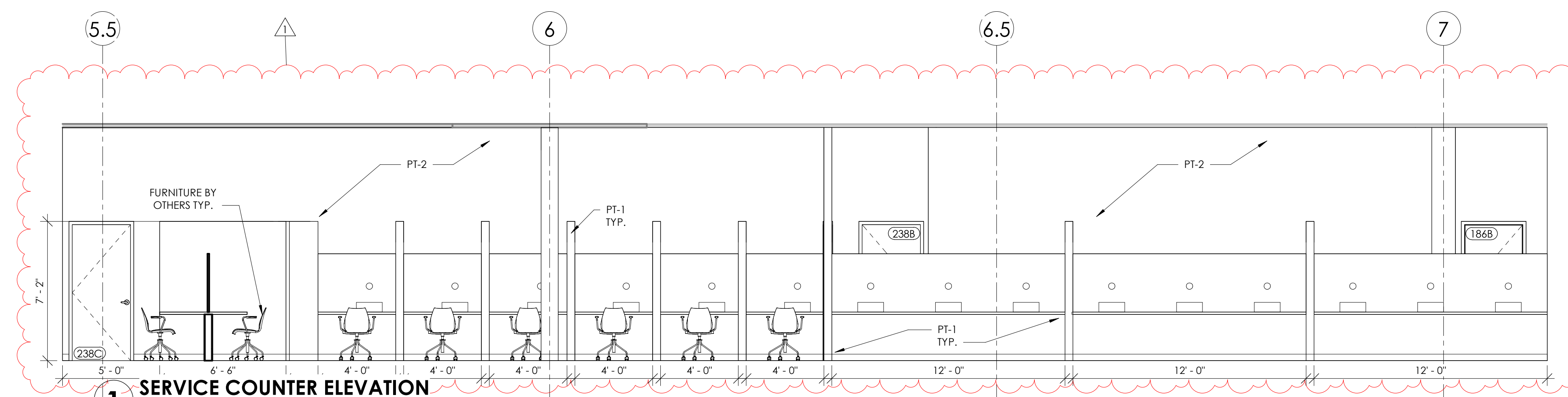
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 1/4" = 1'-0"



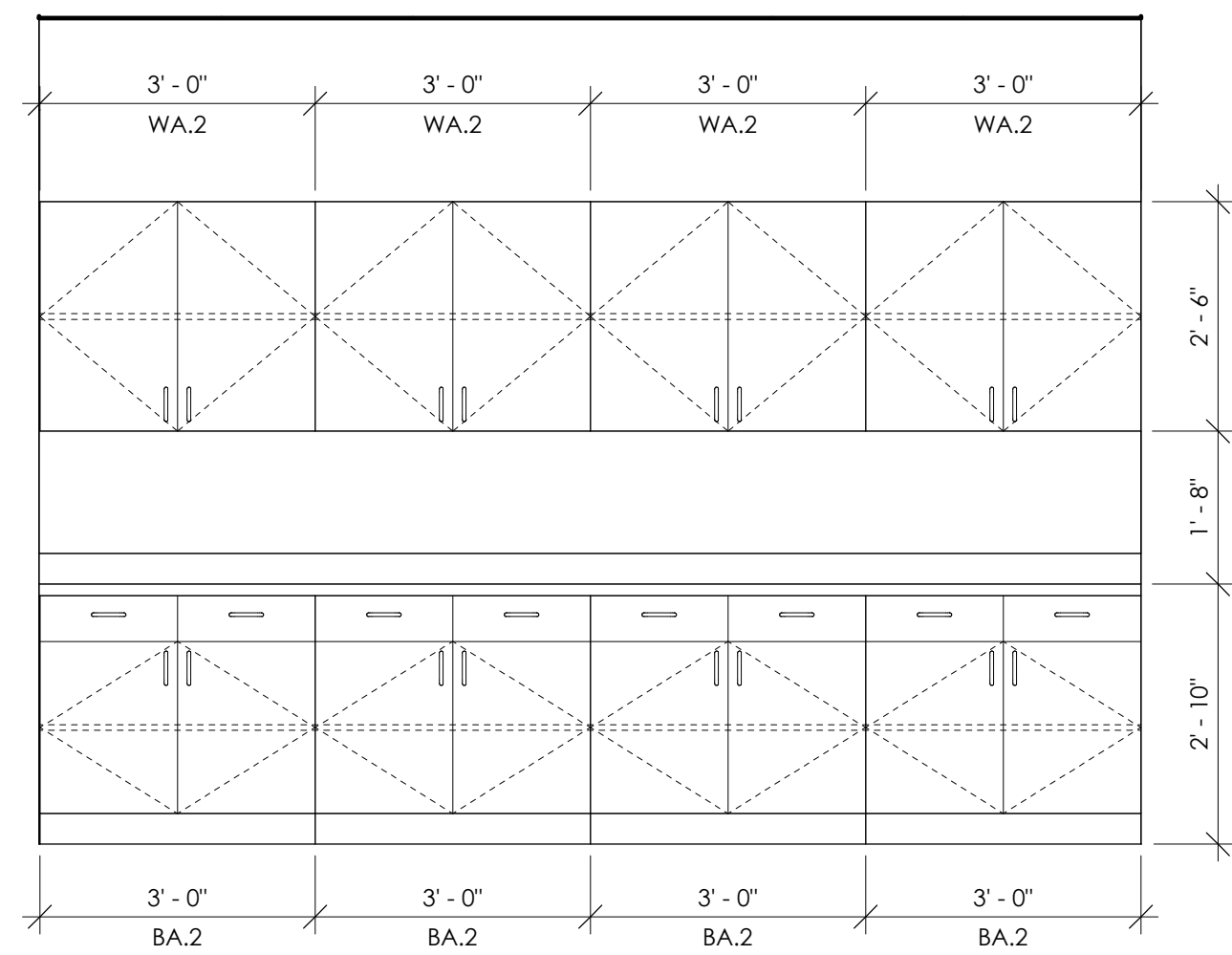
3 LOBBY ELEVATION
 1/4" = 1'-0"



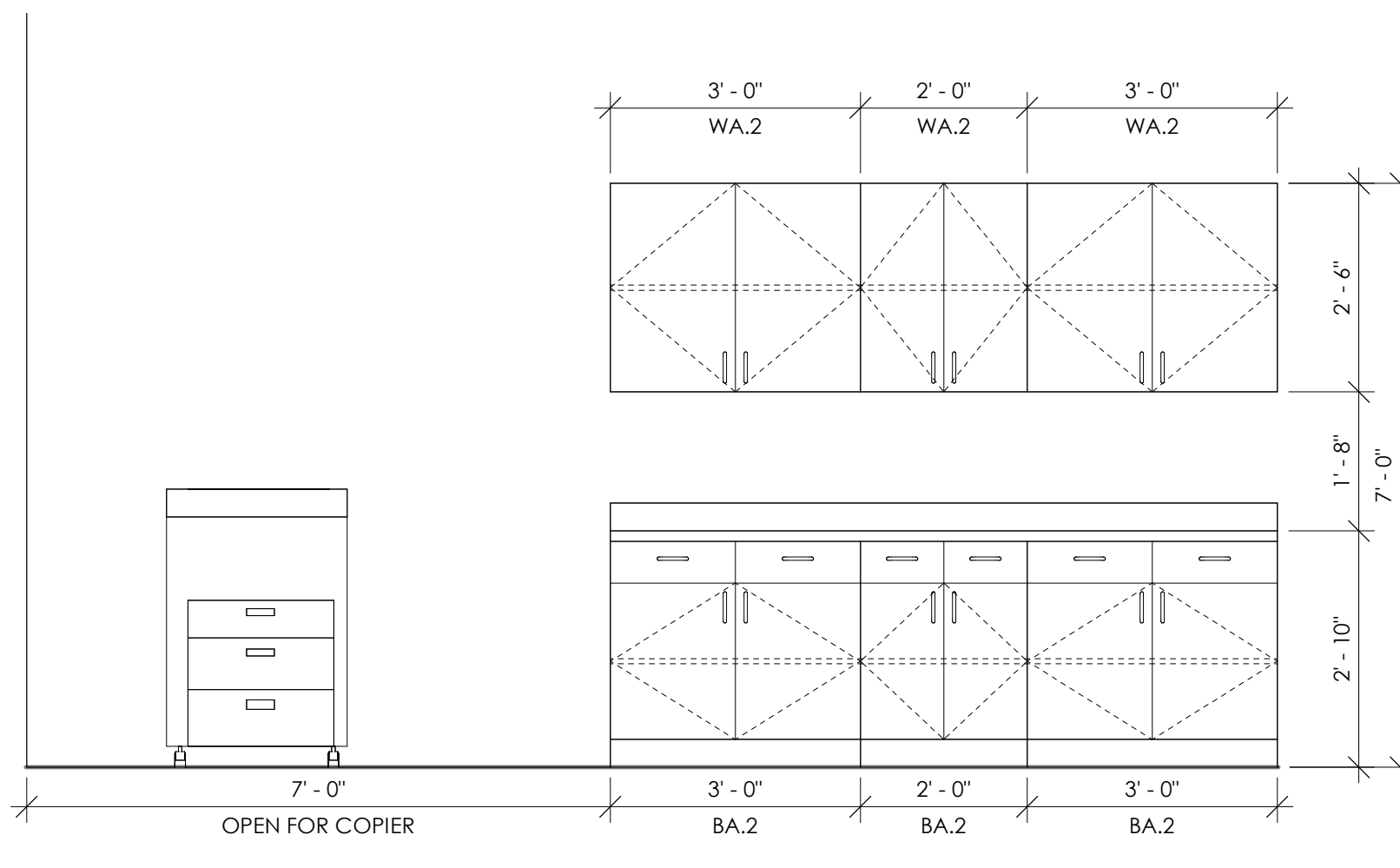
2 SERVICE COUNTER ELEVATION
 1/4" = 1'-0"



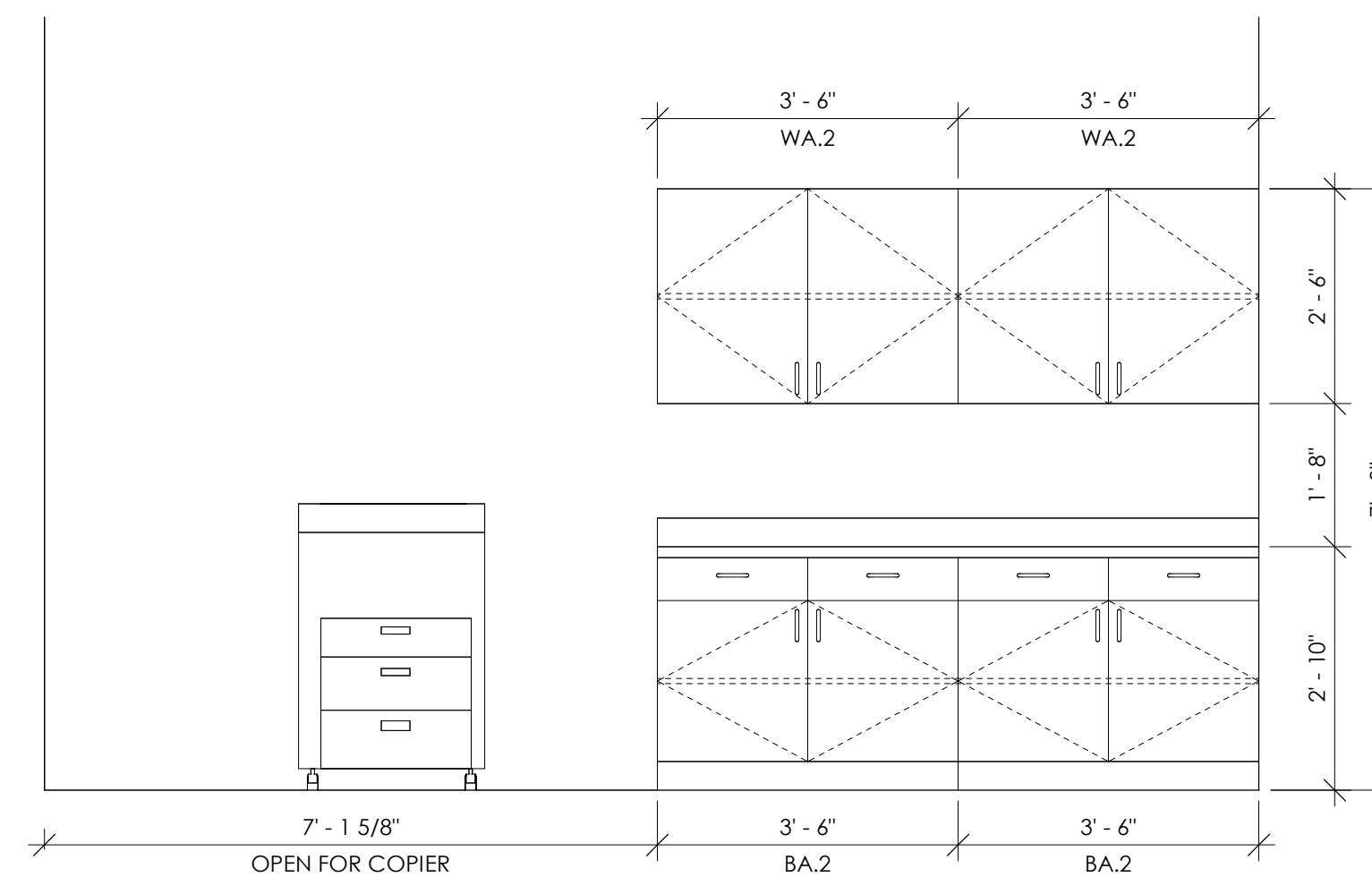
1 SERVICE COUNTER ELEVATION
 1/4" = 1'-0"



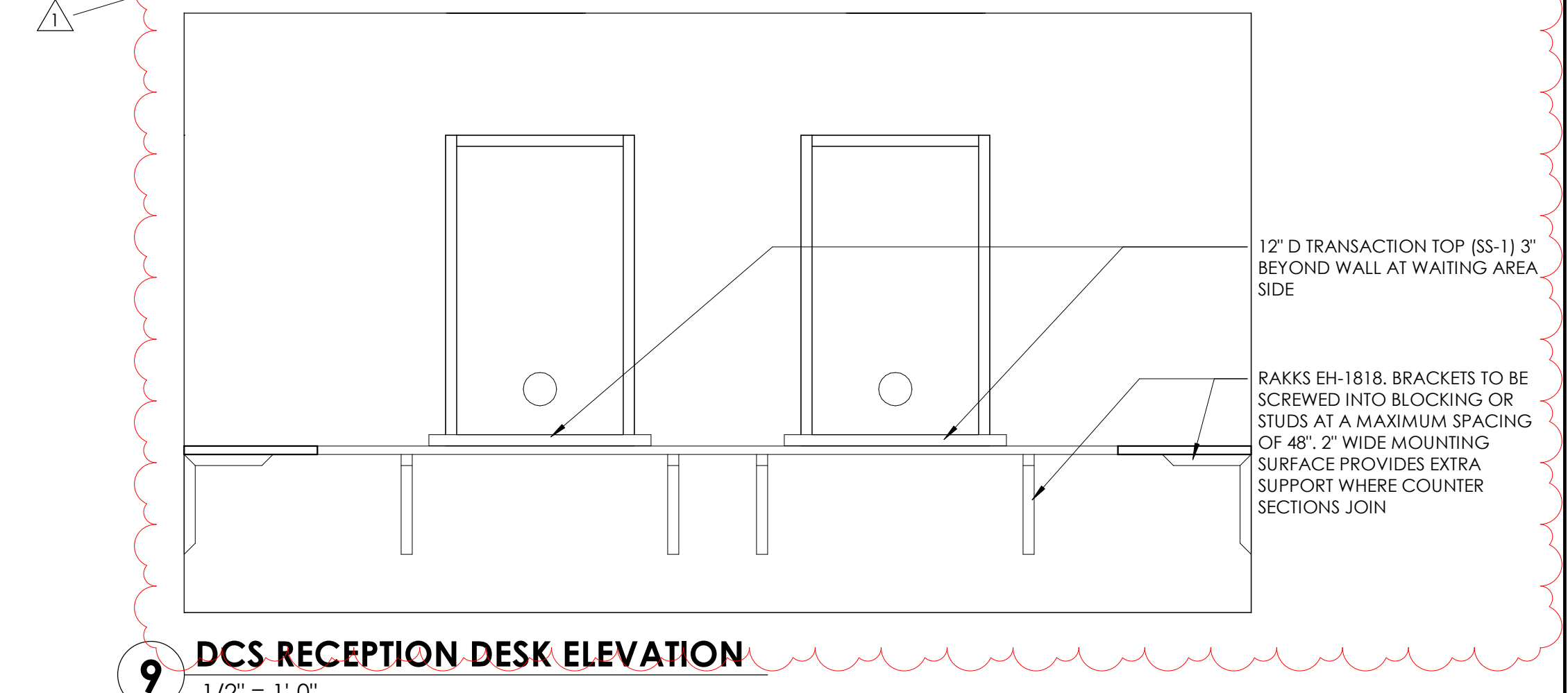
12 RESOURCE CASEWORK ELEVATION
1/2" = 1'-0"



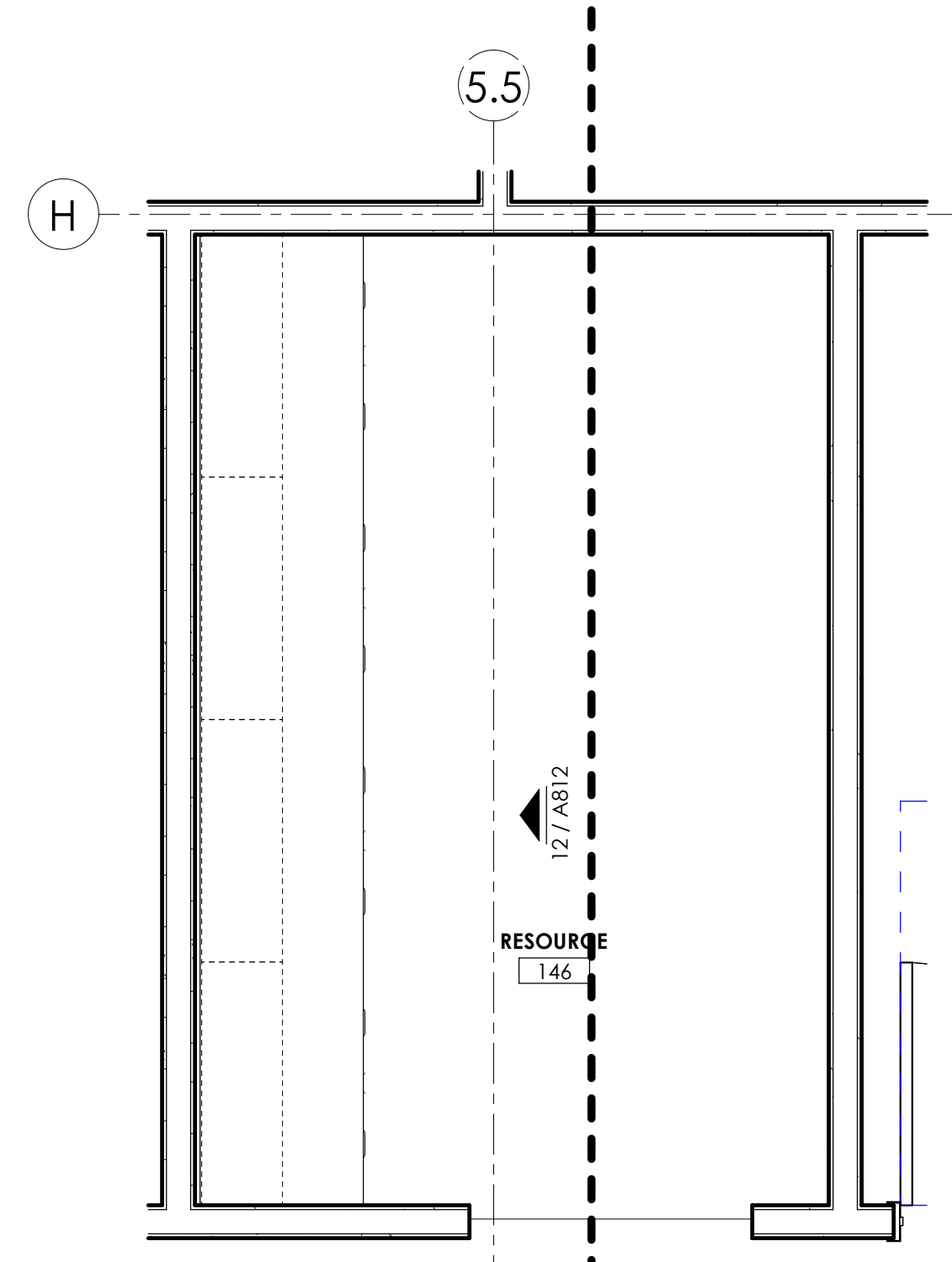
11 COPIER CASEWORK ELEVATION
1/2" = 1'-0"



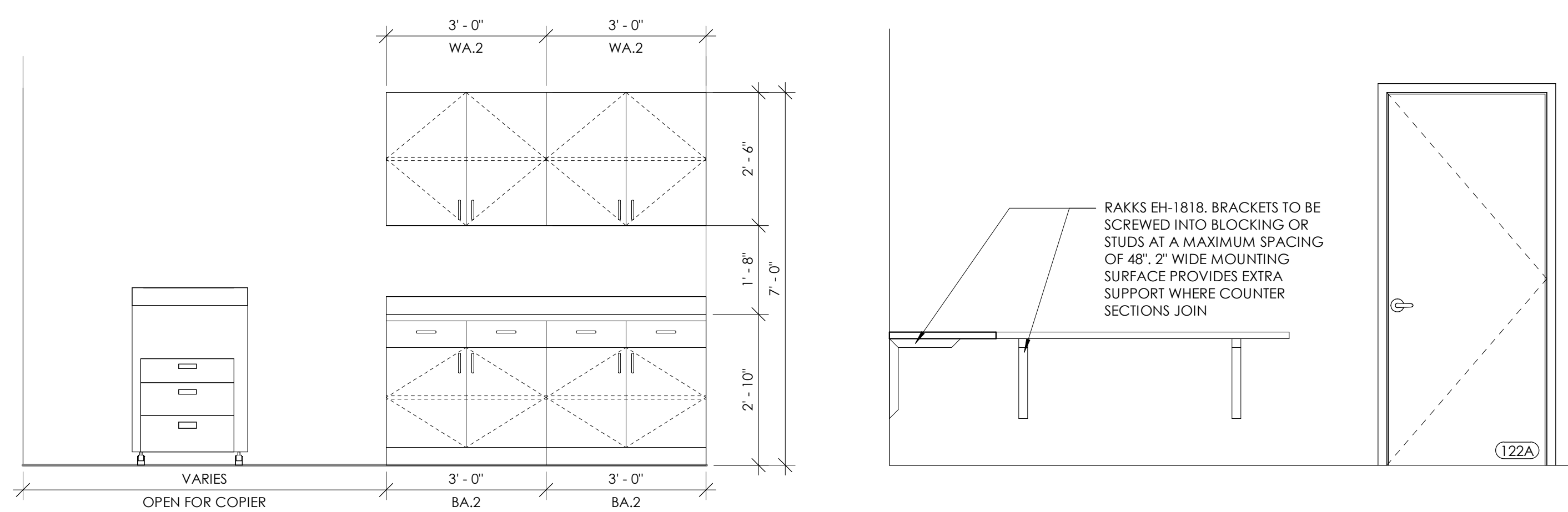
10 RECEPTION CASEWORK ELEVATION
1/2" = 1'-0"



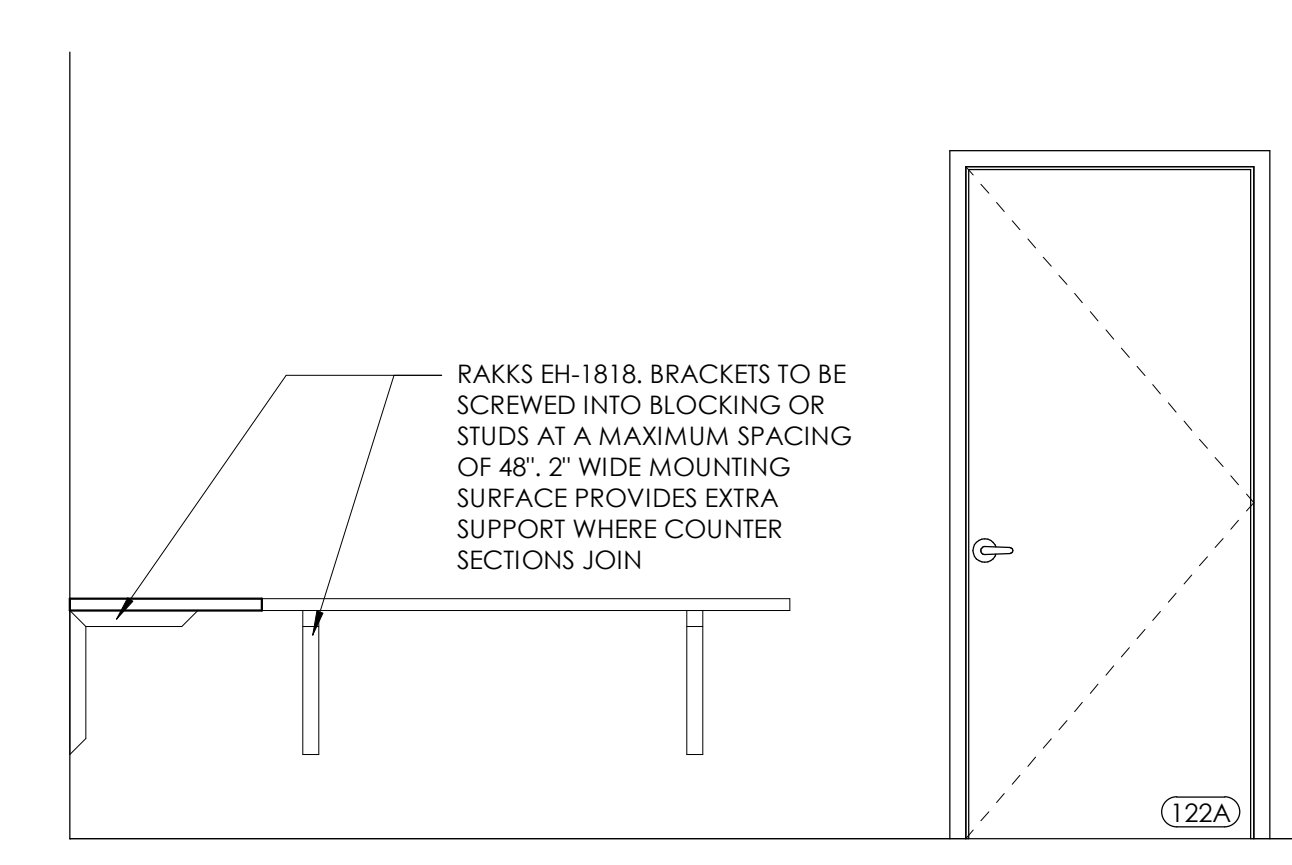
9 DCS RECEPTION DESK ELEVATION
1/2" = 1'-0"



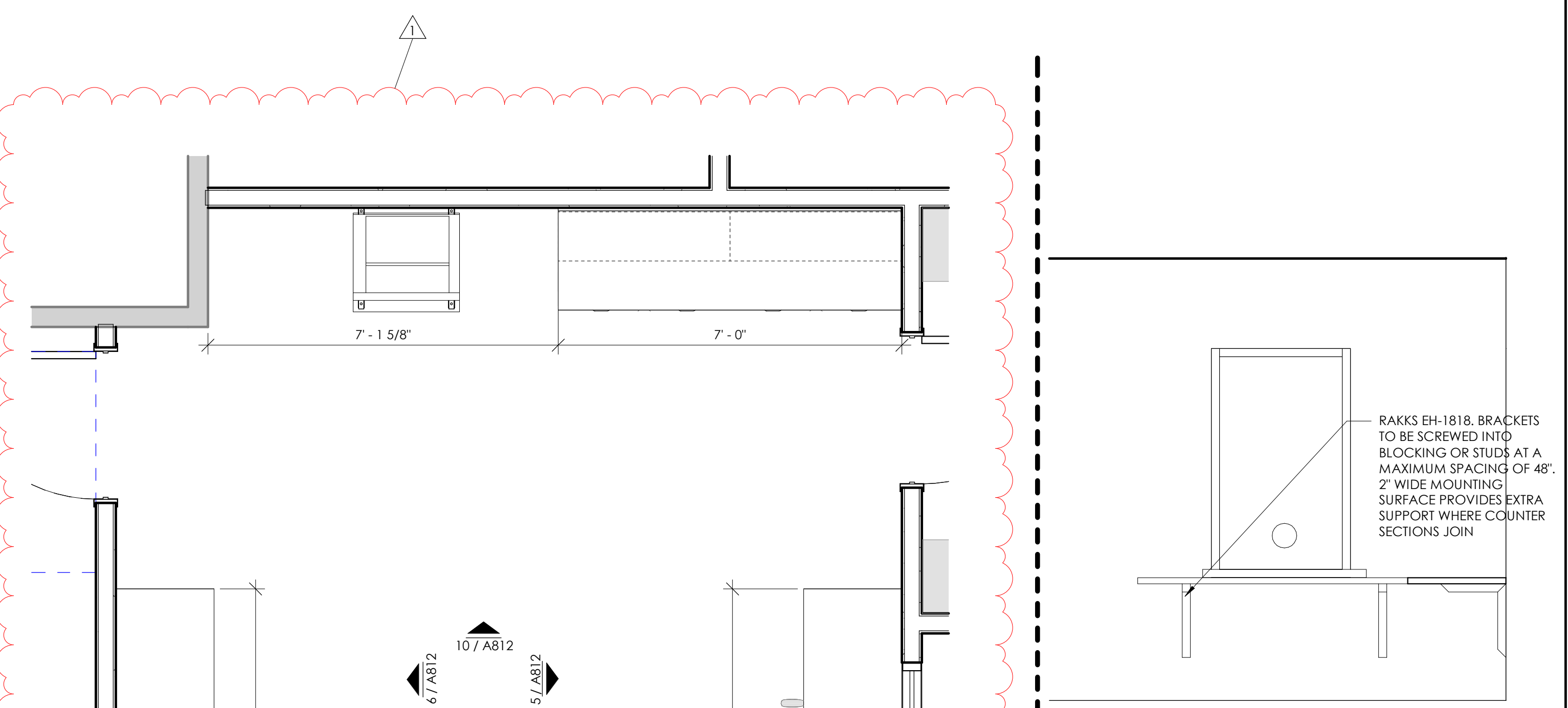
8 RESOURCE PLAN
1/2" = 1'-0"



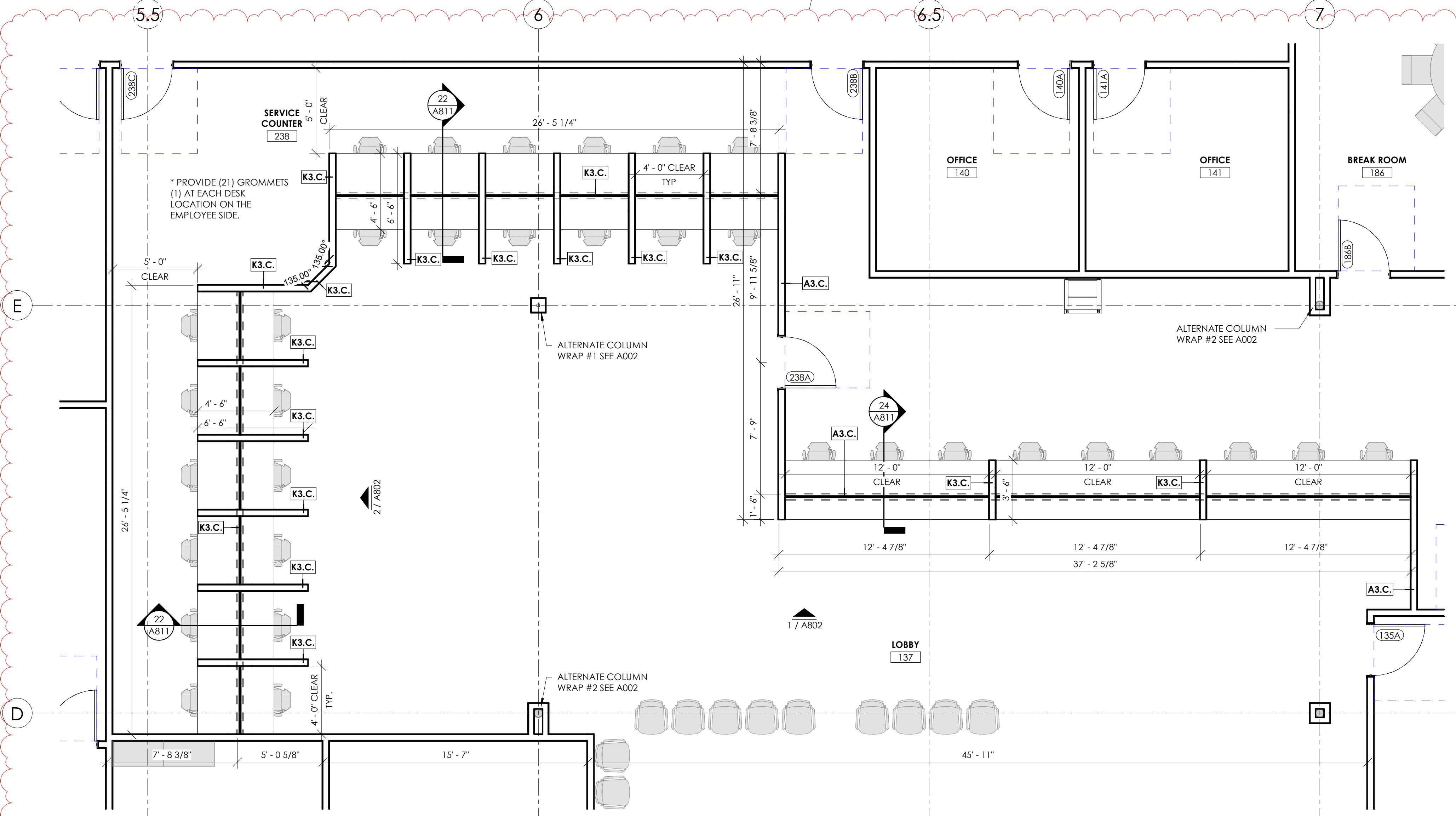
7 COPIER CASEWORK ELEVATION
1/2" = 1'-0"



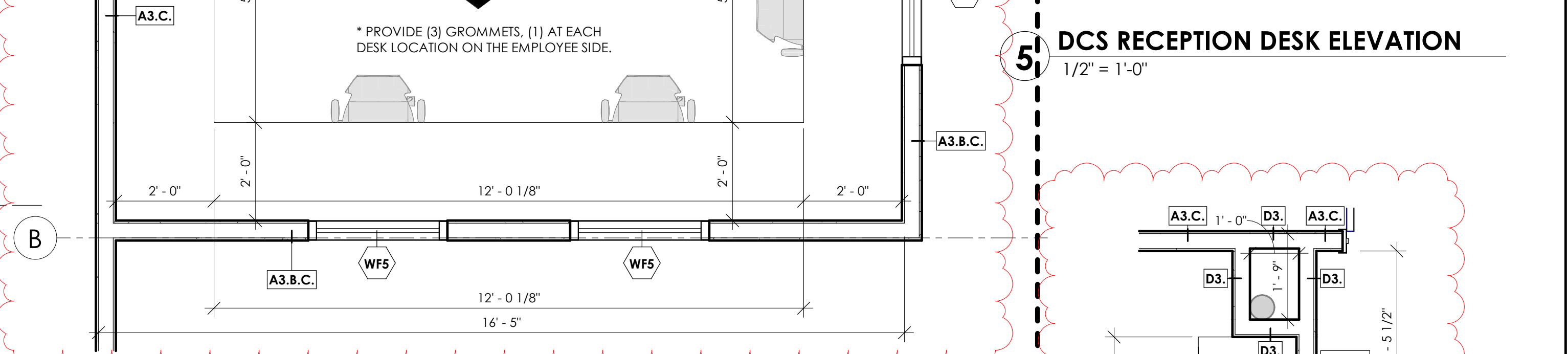
6 DCS RECEPTION DESK ELEVATION
1/2" = 1'-0"



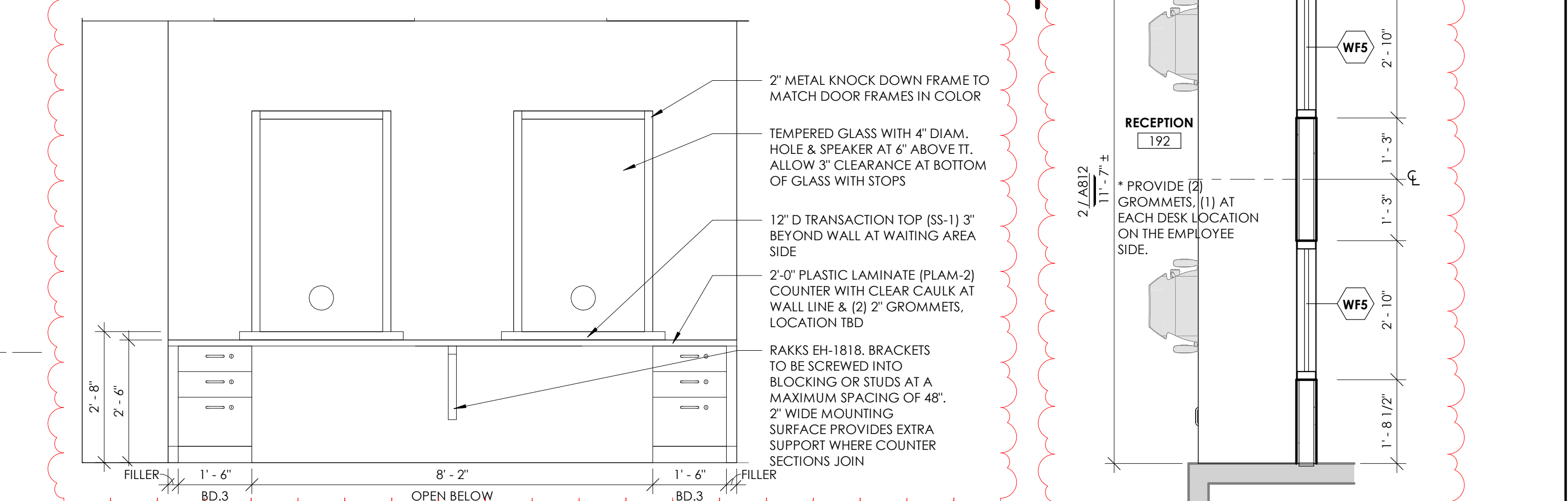
5 DCS RECEPTION DESK ELEVATION
1/2" = 1'-0"



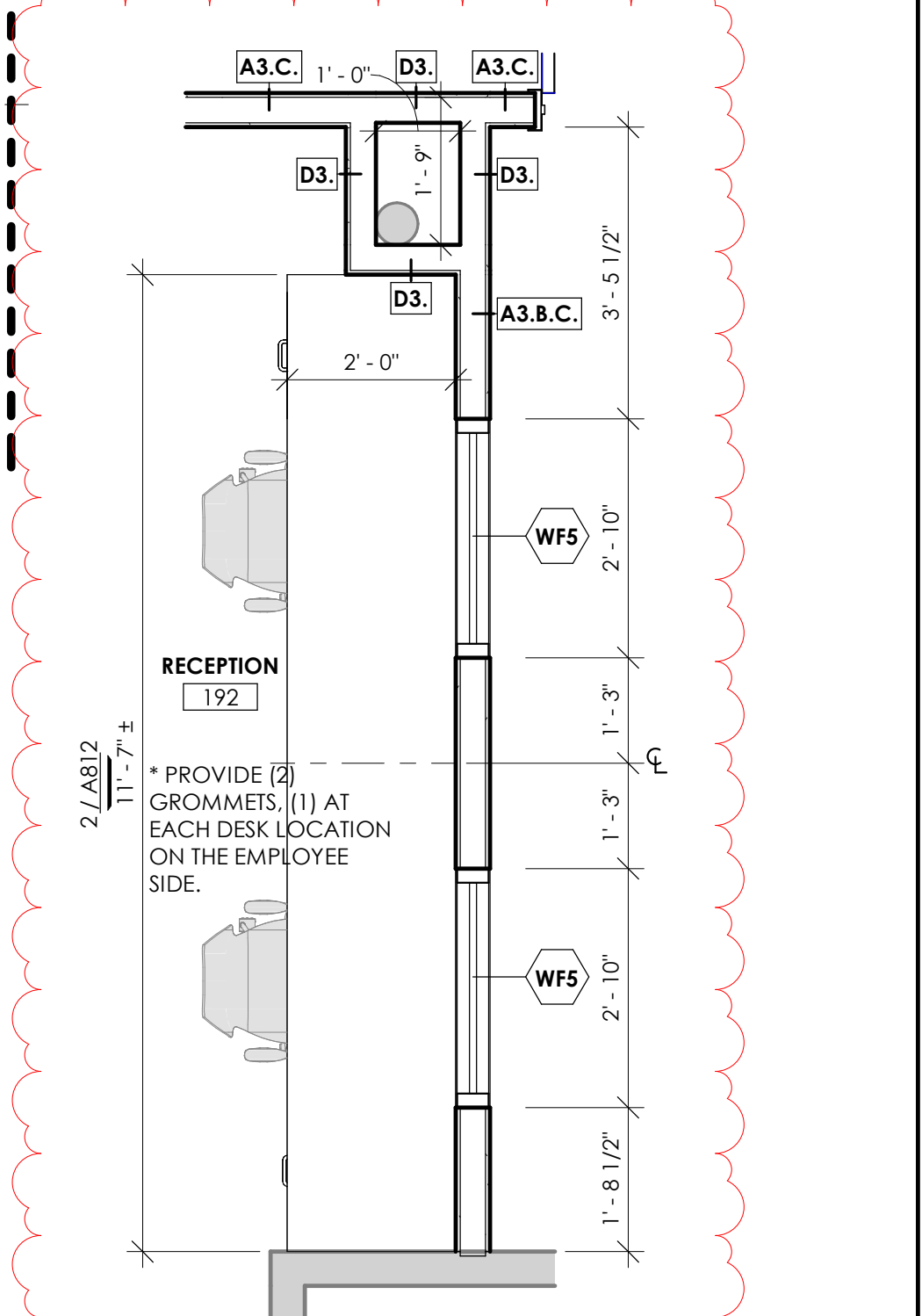
3 SERVICE COUNTER PLAN
1/4" = 1'-0"



4 DCS RECEPTION DESK
1/2" = 1'-0"



2 RECEPTION DESK ELEVATION
1/2" = 1'-0"



1 LOBBY DESK
1/2" = 1'-0"

INDIANA DEPARTMENT OF ADMINISTRATION
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2801 WABASH AVENUE, TERRE HAUTE, IN 47803

INDIANA PROFESSIONAL ENGINEERING BOARD
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STATE OF INDIANA
ARCHITECT
BMM
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CASEWORK ELEVATIONS AND DETAILS

FINISH LEGEND					
MARK	DESCRIPTION	MANUFACTURER	PATTERN/FINISH	NUMBER/COLOR	COMMENTS
CG-1	Corner Guard	Karoseal Koroguard, Lexan Corner Guard	90 Degree Angle Surface Mount, 2" Wing (J200)	Clear Corner Guard	Full Height. Reference Sheet(s) A902/A903/A904 for locations.
CPT-1	Carpet Tile	Shaw Carpet Tile	24"x24" Corastone Tile, ST353	Link, S2500	Quarter-turn
CPT-2	Walk-Off Carpet Tile	Shaw Carpet Tile	24"x24" Welcome II Tile, ST31	Charcoal, 31549	Quarter-turn
CPT-3	Carpet Tile	Shaw Carpet Tile	24"x24" Diffuse Color Ecoworx Tile, ST478	Cool Navy, 78519	Ashlar
LVT-1	Luxury Vinyl Tile	Philadelphia Commercial	Purview 20	Cast Core #00515	Stagger
LVT-2	Luxury Vinyl Tile	Shaw	6" x 48" Terrain II, 20 mil, 0454V	Em, 00761	Stagger
PLAM-1	Plastic Laminate	Wilsonart	Plastic Laminate	Aston HighT	Cabinets, Locations: DFR, RCC, DDRS
PLAM-2	Plastic Laminate	Wilsonart	Plastic Laminate	Aston HighT	Countertop, Locations: DFR, RCC, DDRS
PLAM-3	Plastic Laminate	Wilsonart	Plastic Laminate	Carbon Mesh, 4880	Cabinets, Matte Finish, Location: DCS
PLAM-4	Plastic Laminate	Wilsonart	Plastic Laminate	Carbon Mesh, 4880	Countertop, Matte Finish, Location: DCS
PT-1	Paint	Sherwin Williams	(2) Coats Satin Latex Paint over (1) Coat Primer	SW6232 Misty	
PT-2	Paint	Sherwin Williams	(2) Coats Satin Latex Paint over (1) Coat Primer	SW6460 Kale Green	Accent Color, See locations on Plans
PT-3	Paint	Sherwin Williams	(2) Coats Satin Latex Paint over (1) Coat Primer	SW6244 Naval	Accent Color, See locations on Plans
PT-4	Paint	Sherwin Williams	(2) Coats Satin Latex Paint-Shield over (1) Coat Primer	SW7034 Accessible Beige	
PT-5	Paint	Sherwin Williams	(2) Coats Eggshell Latex Paint over (1) Coat Primer	SW7647 Crushed Ice	
PT-6	Paint	Sherwin Williams	(2) Coats Eggshell Latex Paint over (1) Coat Primer	SW6537 Luxe Blue	Accent Color, See locations on Plans
PT-7	Paint	Sherwin Williams	(2) Coats Eggshell Latex Paint over (1) Coat Primer	SW6458 Restful	Accent Color, See locations on Plans
SS-1	Solid Surface	Wilsonart	Solid Surface	Peace Gray 732255	Countertop, Restrooms, Break Room, Reception Transaction Top
TB-1	Porcelain Tile Base	Daltile	Porfolio 4" x 24"	Iron Grey PFG6	Wall Base
TL-1	Porcelain Tile	Daltile	Porfolio 12" x 24"	Iron Grey PFG6	Floor
TL-2	Porcelain Tile	Daltile	Color Wheel Linear 4" x 12"	Matte Arctic White 0790	Wall, See elevations on A124
VCB-1	Vinyl Cove Base	Johnsonite	120" Rolled Goods, 4"	Charcoal 20	4" High
VCF-1	Vinyl Composition Tile	Armstrong	Imperial Texture Standard Excelon	Earthstone Greige #51804	Quarter-turn, Full Spread S-750

INTERIOR ABBREVIATIONS			
AFF	ABOVE FINISHED FLOOR	PLAM	PLASTIC LAMINATE
APC	ACOUSTICAL PANEL CEILING	PPT	PORCELAIN PAVER TILE
ARP	ACRYLIC RESIN PANEL	PT	PAINT
CC	CUBICLE CURTAINS	QT	QUARRY TILE
CFC	CONCRETE FLOOR COATINGS	RFB	RUBBER FLOORING
CG	CORNER GUARD	RCB	RUBBER COVE BASE
CMT	CERAMIC MOSAIC TILE	RF	RESINOUS FLOORING
CONC.	CONCRETE	SC	SEALED CONCRETE
CPT	CARPET OR CARPET TILE	SFC	SOLID SURFACE COATINGS
CT	CERAMIC TILE	SSURF	SOLID SURFACE SHEET VINYL
CTB	CERAMIC TILE BASE	SV	SHEET VINYL
ETR	EXISTING TO REMAIN	TWC	TEXTILE / TACKABLE WALLCOVERING
EQ	EQUAL	TZ	TERRAZZO
FCB	FLASH COVE BASE	UNO	UNLESS NOTED OTHERWISE
GBP	GYPSUM BOARD, PAINTED	VCT	VINYL COMPOSITION TILE
GL	GLASS TILE / GLASS GRANITE TILE / FLOORING	VVC	VINYL WALLCOVERING
GNT	IRON GREY PFG6	WC	WOOD COVERING
MC	MULTI-COLOR COATING	WDB	WOOD BASE
N.I.C.	NOT IN CONTRACT	WDP	WOOD PANELING
O.C.	ON CENTER	WP	WALL PROTECTION

INTERIOR KEYS LEGEND	
	ROOM FINISH TAG
	DENOTES FLOOR FINISH DIRECTION
	DENOTES CORNER GUARD LOCATION, COLORS TBD U.N.O.
	DENOTES FLOOR MATERIAL TRANSITION
	DENOTES ACCENT MATERIAL LOCATIONS AND EXTENTS
	DENOTES BULKHEAD ABOVE

INTERIOR FINISH GENERAL NOTES

- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, LOCATIONS, AND MATERIAL QUANTITIES PRIOR TO STARTING WORK AND PURCHASING MATERIALS. REPORT ANY DISCREPANCIES TO DESIGNER / ARCHITECT.
- CONTRACTOR SHALL COMPLY WITH ALL MANUFACTURER'S INSTALLATION METHODS AND SHALL NOT EXECUTE WORK WITHOUT VERIFICATION OF FIELD CONDITIONS.
- REFERENCE ROOM FINISH SPECIFICATIONS FOR MATERIAL TYPE AND ADDITIONAL INFORMATION.
- CONTRACTOR IS RESPONSIBLE TO PROVIDE AND FOR PLACEMENT OF ALL FLOOR FINISH TRANSITIONS BETWEEN MATERIALS.
- REFERENCE FLOOR FINISH PLAN FOR DIMENSIONS, DIRECTION OF INSTALLATION AND/OR GRAIN PATTERN.
- REFERENCE ARCHITECTURAL FLOOR PLANS FOR LOCATION OF FULL HEIGHT SURFACE MOUNTED CORNER GUARDS.
- PAINT ALL HOLLOW METAL DOOR FRAMES PT-5, UNLESS NOTED OTHERWISE, FINISH: SEMI-GLOSS.
- LOOSE FURNITURE AND OTHER LOOSE EQUIPMENT ITEMS INDICATED ON THIS DRAWING ARE OWNER PROVIDED, NOT IN CONTRACT (N.I.C.) UNLESS NOTED OTHERWISE.
- CASEWORK/FULL WORK INSTALLER IS RESPONSIBLE TO COORDINATE INSTALLATION IN FIELD OF MEP DIVISION 15 / 16 ITEMS INCLUDING CUT-OUTS IN CASEWORK OR COUNTERTOPS.
- MOUNT TOP OF WALL CABINETS @ 7'-2" A.F.F., UNLESS NOTED OTHERWISE.
- PROVIDE RESILIENT COVE BASE AT FIXED CASEWORK AND SUPPORTS UNLESS NOTED OTHERWISE.
- ALL APPLIANCES (EX. REFRIGERATORS, DISHWASHERS, MICROWAVES, ETC.) ARE OWNER PROVIDED, (N.I.C.) COORDINATE ROUGH OPENING SIZES AND LOCATIONS WITH MEP DIVISION 15 / 16.
- CONTRACTOR IS TO PROVIDE FLOORING TRANSITION AT EVERY VCT TO CARPET TRANSITION LOCATIONS.
- PAINT BULKHEADS AS NOTED ON ROOM FINISH SCHEDULE.
- PAINT GRILLES, EXPOSED CONDUIT, AND LIKE PRODUCT TO MATCH ADJACENT WALL COLOR UNLESS NOTED OTHERWISE.
- REFERENCE REFLECTED CEILING PLAN FOR CEILING HEIGHTS, EXTENT OF BULKHEADS, AND ANY SPECIAL PAINT COLOR DESIGNATIONS.
- PROVIDE FLAT FINISH PAINT FOR CEILING, SATIN / EGGSHELL FINISH PAINT AT WALLS UNLESS NOTED OTHERWISE.
- NEW MANUFACTURED VENEER WOOD FACTORY FINISHED DOORS TO BE STAINED ST-1 UNLESS NOTED OTHERWISE.
- PROVIDE HOLD DOWN CLIPS FOR CEILING GRID, REFERENCE REFLECTED CEILING PLAN.
- REFERENCE FINISH PLAN FOR FLOOR PATTERN AND WALL FINISH EXTENTS PER PLAN.
- PROVIDE PVC EDGE AT COUNTERS AND BOX CABINETS, REFERENCE CASEWORK ELEVATIONS AND DETAILS.

INTERIOR FINISH PLAN KEYNOTES

- F.1 FURNITURE BY OTHERS, TYPICAL
- F.2 APPLIANCED BY LANDLORD, TYPICAL
- F.3 REPAIR GYPSUM WALL BOARD
- F.4 SHELVING BY OWNER PER LEASE

KEYPLAN

A	B
C	D

ROOM FINISH PLAN
1/8" = 1'-0"

KEYPLAN



CONSULTANTS

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INDIANA DEPARTMENT OF ADMINISTRATION

ENLARGED INTERIOR FINISH PLAN - AREA C

REVISED BY: [Signature]

DATE: 2024-12-20

PROJECT: [Project Name]

SCALE: 1/8" = 1'-0"

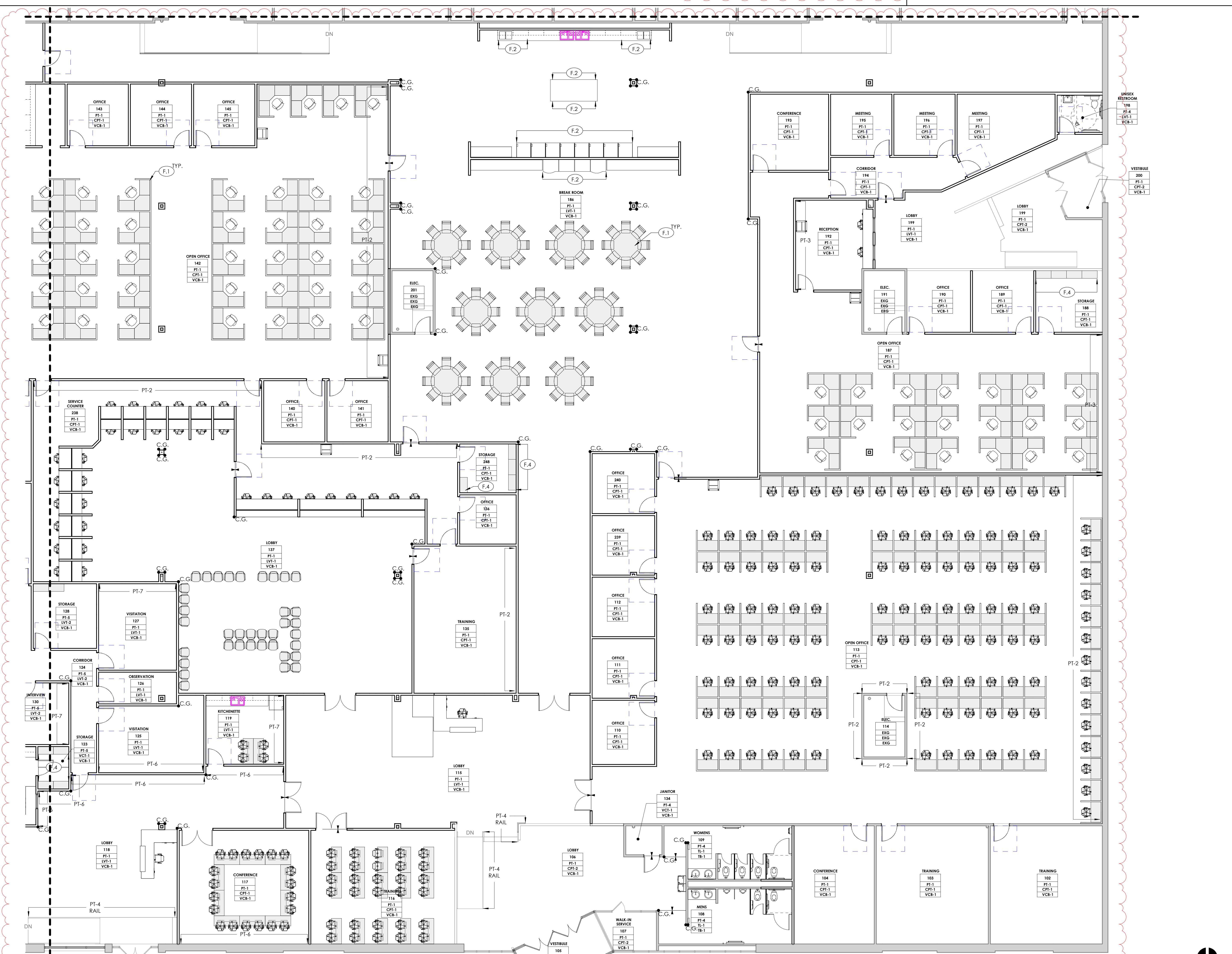
NO. A902

0240101-10000

MARK	DESCRIPTION	MANUFACTURER	PATTERN/FINISH	NUMBER/COLOR	COMMENTS
CG-1	Corner Guard	Koroseal Koroguard, Lexan Corner Guard	90 Degree Angle Surface Mount, 2" Wing (J200)	Clear Corner Guard	Full Height. Reference Sheet(s) A902/A903/A904 for locations.
CP1-1	Carpet Tile	Shaw Carpet Tile	24"x24" Corrugated Tile, 93533	Link, S2500	Quarter-turn
CP1-2	Walk-Off Carpet Tile	Shaw Carpet Tile	24"x24" Welcome II Tile, 51031	Charcoal, 31549	Quarter-turn
CP1-3	Carpet Tile	Shaw Carpet Tile	24"x24" Diffuse Color Ecovox Tile, 51478	Coal Navy, 78519	Quarter-turn
LVT-1	Luxury Vinyl Tile	Philadelphia Commercial	Purview 20	Cast Core #00515	Stagger
LVT-2	Luxury Vinyl Tile	Shaw	6" x 48" Terrain II, 20 mil, 0454V	Em, 00761	Stagger
PLAM-1	Plastic Laminate	Wilsonart	Plastic Laminate	Alton Night	Cabinets, Locations: DFR, RCC, DDRS
PLAM-2	Plastic Laminate	Wilsonart	Plastic Laminate	Alton Night	Countertop, Locations: DFR, RCC, DDRS
PLAM-3	Plastic Laminate	Wilsonart	Plastic Laminate	Carbon Mesh, 4880	Cabinets, Matte Finish, Location: DCS
PLAM-4	Plastic Laminate	Wilsonart	Plastic Laminate	Carbon Mesh, 4880	Countertop, Matte Finish, Location: DCS
PT-1	Paint	Sherwin Williams	(2) Coats Satin Latex Paint over (1) Coat Primer	SW6232 Misty	Accent Color, See locations on Plans
PT-2	Paint	Sherwin Williams	(2) Coats Satin Latex Paint over (1) Coat Primer	SW6460 Kale Green	Accent Color, See locations on Plans
PT-3	Paint	Sherwin Williams	(2) Coats Satin Latex Paint over (1) Coat Primer	SW6244 Nuvol	Accent Color, See locations on Plans
PT-4	Paint	Sherwin Williams	(2) Coats Satin Latex Paint over (1) Coat Primer	SW7036 Accessible Beige	Accent Color, See locations on Plans
PT-5	Paint	Sherwin Williams	(2) Coats Eggshell Latex Paint over (1) Coat Primer	SW7647 Crushed Ice	Accent Color, See locations on Plans
PT-6	Paint	Sherwin Williams	(2) Coats Eggshell Latex Paint over (1) Coat Primer	SW6537 Luxe Blue	Accent Color, See locations on Plans
PT-7	Paint	Sherwin Williams	(2) Coats Eggshell Latex Paint over (1) Coat Primer	SW6458 Restful	Accent Color, See locations on Plans
SS-1	Solid Surface	Wilsonart	Solid Surface	Pesce Gray 732255	Countertop, Restrooms, Break Room, Reception Transaction Top
TB-1	Porcelain Tile Base	Daltile	Porffolio 12" x 24"	Iron Grey PFG6	Wall Base
TL-1	Porcelain Tile	Daltile	Porffolio 12" x 24"	Iron Grey PFG6	Floor
TL-2	Porcelain Tile	Daltile	Color Wheel Linear 4" x 12"	Matte Arctic White 0790	Wall Base
VCB-1	Vinyl Cove Base	Johnsonite	120" Rolled Goods, 4"	Charcoal 20	4" High
VCF-1	Vinyl Composition Tile	Armstrong	Imperial Texture Standard Excelon	Earthstone Greige #51804	Quarter-turn, Full Spread S-750

INTERIOR ABBREVIATIONS			
AFF	ABOVE FINISHED FLOOR	PLAM	PLASTIC LAMINATE
APC	ACOUSTICAL PANEL CEILING	PPT	PORCELAIN PAVER TILE
ARP	ACRYLIC RESIN PANEL	PT	PAINT
CC	CUBICLE CURTAINS	QT	QUARRY TILE
CFC	CONCRETE FLOOR COATINGS	RFB	RUBBER FLOORING
CG	CORNER GUARD	RCB	RUBBER COVE BASE
CMT	CERAMIC MOSAIC TILE	RF	RESINOUS FLOORING
CONC.	CONCRETE	SC	SEALED CONCRETE
CPT	CARPET OR CARPET TILE	SPC	SPECIAL COATINGS
CT	CERAMIC TILE	SSURF	SOLID SURFACE
CTB	CERAMIC TILE BASE	SV	SHEET VINYL
EQ	EXISTING TO REMAIN	TWC	TEXTILE / TACKABLE WALLCOVERING
ETR	EQUAL	TZ	TERRAZZO
FCB	FLASH COVE BASE	UNO	UNLESS NOTED OTHERWISE
GBP	GYPSUM BOARD, PAINTED	VCT	VINYL COMPOSITION TILE
GL	GLASS TILE / GLASS	VVC	VINYL WALLCOVERING
GN	GRANITE TILE / FLOORING	WC	WOOD COVERING
MC	MULTI-COLOR COATING	WOB	WOOD BASE
N.I.C.	NOT IN CONTRACT	WDP	WOOD PANELING
O.C.	ON CENTER	WP	WALL PROTECTION

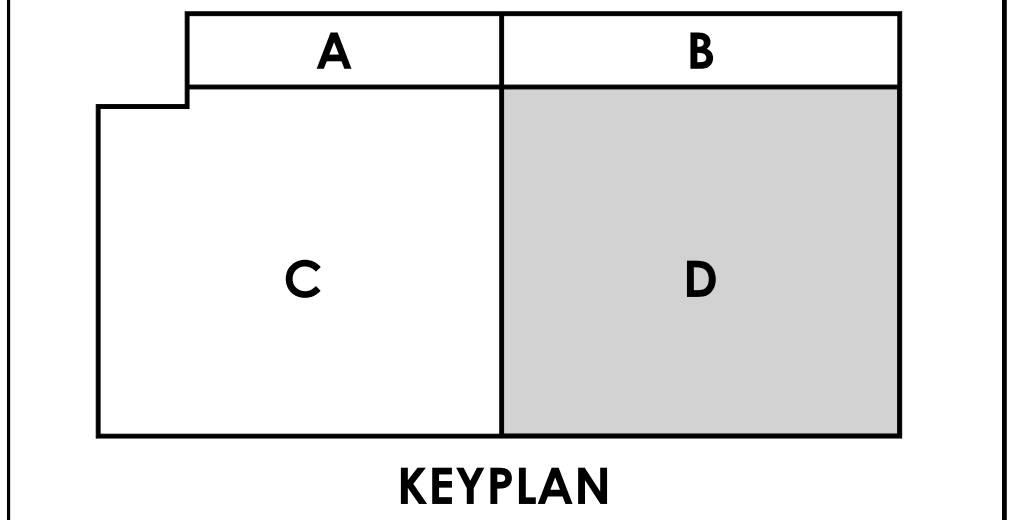
INTERIOR KEYS LEGEND	
	ROOM FINISH TAG
	DENOTES FLOOR FINISH DIRECTION
	DENOTES CORNER GUARD LOCATION, COLORS TBD U.N.O.
	DENOTES FLOOR MATERIAL TRANSITION
	DENOTES ACCENT MATERIAL LOCATIONS AND EXTENTS
	DENOTES BULKHEAD ABOVE



- ### INTERIOR FINISH GENERAL NOTES
- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, LOCATIONS, AND MATERIAL QUANTITIES PRIOR TO STARTING WORK AND PURCHASING MATERIALS. REPORT ANY DISCREPANCIES TO DESIGNER / ARCHITECT.
 - CONTRACTOR SHALL COMPLY WITH ALL MANUFACTURER'S INSTALLATION METHODS AND SHALL NOT EXECUTE WORK WITHOUT VERIFICATION OF FIELD CONDITIONS.
 - REFERENCE ROOM FINISH SPECIFICATIONS FOR MATERIAL TYPE AND ADDITIONAL INFORMATION.
 - CONTRACTOR IS RESPONSIBLE TO PROVIDE AND FOR PLACEMENT OF ALL FLOOR FINISH TRANSITIONS BETWEEN MATERIALS.
 - REFERENCE FLOOR FINISH PLAN FOR DIMENSIONS, DIRECTION OF INSTALLATION AND/OR GRAIN PATTERN.
 - REFERENCE ARCHITECTURAL FLOOR PLANS FOR LOCATION OF FULL HEIGHT SURFACE MOUNTED CORNER GUARDS.
 - PAIN ALL HOLLOW METAL DOOR FRAMES PT-5, UNLESS NOTED OTHERWISE, FINISH: SEMI-GLOSS.
 - LOOSE FURNITURE AND OTHER LOOSE EQUIPMENT ITEMS INDICATED ON THIS DRAWING ARE OWNER PROVIDED, NOT IN CONTRACT (N.I.C.) UNLESS NOTED OTHERWISE.
 - CASEWORK/WALL WORK INSTALLER IS RESPONSIBLE TO COORDINATE INSTALLATION IN FIELD OF MEP DIVISION 15 / 16 ITEMS INCLUDING CUT-OUTS IN CASEWORK OR COUNTERTOPS.
 - MOUNT TOP OF WALL CABINETS @ 7'-2" A.F.F., UNLESS NOTED OTHERWISE.
 - PROVIDE RESILIENT COVE BASE AT FIXED CASEWORK AND SUPPORTS UNLESS NOTED OTHERWISE.
 - ALL APPLIANCES (EX. REFRIGERATORS, DISHWASHERS, MICROWAVES, ETC.) ARE OWNER PROVIDED, (N.I.C.) COORDINATE ROUGH OPENING SIZES AND LOCATIONS WITH MEP DIVISION 15 / 16.
 - CONTRACTOR IS TO PROVIDE FLOORING TRANSITION AT EVERY VCT TO CARPET TRANSITION LOCATIONS.
 - PAINT BULKHEADS AS NOTED ON ROOM FINISH SCHEDULE.
 - PAINT GRILLES, EXPOSED CONDUIT, AND LIKE PRODUCT TO MATCH ADJACENT WALL COLOR UNLESS NOTED OTHERWISE.
 - REFERENCE REFLECTED CEILING PLAN FOR CEILING HEIGHTS, EXTENT OF BULKHEADS, AND ANY SPECIAL PAINT COLOR DESIGNATIONS.
 - PROVIDE FLAT FINISH PAINT FOR CEILING, SATIN / EGGSHELL FINISH PAINT AT WALLS UNLESS NOTED OTHERWISE.
 - NEW MANUFACTURED VENEER WOOD FACTORY FINISHED DOORS TO BE STAINED ST-1 UNLESS NOTED OTHERWISE.
 - PROVIDE HOLD DOWN CLIPS FOR CEILING GRID, REFERENCE REFLECTED CEILING PLAN.
 - REFERENCE FINISH PLAN FOR FLOOR PATTERN AND WALL FINISH EXTENTS PER PLAN.
 - PROVIDE PVC EDGE AT COUNTERS AND BOX CABINETS, REFERENCE CASEWORK ELEVATIONS AND DETAILS.

- ### INTERIOR FINISH PLAN KEYNOTES
- F.1 FURNITURE BY OTHERS, TYPICAL
 - F.2 APPLIANCED BY LANDLORD, TYPICAL
 - F.3 REPAIR GYPSUM WALL BOARD
 - F.4 SHELVING BY OWNER PER LEASE

1 ROOM FINISH PLAN
1/8" = 1'-0"
NORTH



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